



City of Fitchburg  
Planning/zoning Department  
5520 Lacy Road  
Fitchburg, WI 53711 (608-270-4200)

## REZONING APPLICATION

The undersigned owner, or owner's authorized agent, of property herein described hereby petitions to amend the zoning district map of the Fitchburg zoning ordinance by reclassifying from the GIP district to the SIP district the following described property:

1. **Location of Property / Street Address:** Northeast Corner of Fitchrona Rd. & Lacy Rd.

**Legal Description - (Metes & Bounds, or Lot No. And Plat):**

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 1S2-1S4 as Document Number 39S9694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin. See attached PDD-SIP submittal.

\*\*\*Also submit in electronic format (MS WORD or plain text) by email to: [planning@city.fitchburg.wi.us](mailto:planning@city.fitchburg.wi.us)

2. **Proposed Use of Property - Explanation of Request:**

Apartment Homes (Multi-Family Residential)

3. **Proposed Development Schedule:** See attached PDD-SIP Submittal

4. **Future Land Use Plan Classification:** High Density Residential (HDR)

\*\*\*Pursuant to Section 22-3(b) of the Fitchburg Zoning Ordinance, all Rezoning shall be consistent with the currently adopted City of Fitchburg Comprehensive Plan.

\*\*\*Attach three (3) copies of a site plan which shows any proposed land divisions, plus vehicular access points and the location and size of all existing and proposed structures and parking areas. Two (2) of the three (3) copies shall be no larger than 11" x 17". Submit one (1) electronic pdf document of the entire submittal to [planning@city.fitchburg.wi.us](mailto:planning@city.fitchburg.wi.us). Additional information may be requested.

**Type of Residential Development (If Applicable):** Apartment Homes (Multi-Family Residential)

**Total Dwelling Units Proposed:** 152

**No. Of Parking Stalls:** 238 total

**Type of Non-residential Development (If Applicable):** n/a

**Proposed Hours of Operation:** \_\_\_\_\_

**No. Of Employees:** \_\_\_\_\_

**Floor Area:** \_\_\_\_\_

**No. Of Parking Stalls:** \_\_\_\_\_

**Sewer: Municipal** ☐

**Private** ☒

**Water: Municipal** ☐

**Private** ☒

**Current Owner of Property:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone No:** \_\_\_\_\_

**Contact Person:** Craig Raddatz, Fiduciary Real Estate Development, Inc.

**Email:** craddatz@fred-inc.com

**Address:** 789 N. Water St. - Suite 200, Milwaukee, WI 53202

**Phone No:** 414-226-4535

**Respectfully Submitted By:** Craig Raddatz

Owner's or Authorized Agent's Signature

Print Owner's or Authorized Agent's Name

PLEASE NOTE - Applicants shall be responsible for legal or outside consultant costs incurred by the City. Submissions shall be made at least four (4) weeks prior to desired plan commission meeting.

**For City Use Only:** **Date Received:** 4/21/2015 **Publish:** \_\_\_\_\_ and \_\_\_\_\_

**Ordinance Section No.** \_\_\_\_\_ **Fee Paid:** \$825.00

**Permit Request No.** RZ-2057-15



City of Fitchburg  
Planning/Zoning Department  
5520 Lacy Road  
Fitchburg, WI 53711 (608-270-4200)

## ARCHITECTURAL & DESIGN REVIEW APPLICATION

**Applicant/Contact Person:** Craig Raddatz, Fiduciary Real Estate Development, Inc.

**Address:** 789 N. Water St. - Suite 200

**Phone Number of Contact Person:** 414-226-4535

**City, State, Zip Code:** Milwaukee, WI 53202

**Email of Contact Person:** craddatz@fred-inc.com

**Project Address:** NE corner of Fitchrona Rd & Lacy Rd. **Lot:** Outlot 9 **Subdivision:** Quarry Vista

**Project Type:** ☒ Multi-Family ☐ Commercial ☐ Industrial ☐ Other  
☐ New ☐ Addition

**Impervious Surface Ratio (ISR):** 57.1% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

- Site Data:**
- ☐ 1. Lot or property dimensions.
  - ☐ 2. Orientation (to north).
  - ☐ 3. Adjacent highways, roads, drive, etc.
  - ☐ 4. Existing natural features (rivers, ponds, wetlands).
  - ☐ 5. Existing buildings and/or improvements.
  - ☐ 6. Existing and proposed site drainage.
  - ☐ 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 ft. of site.
  - ☐ 8. ISR shall be indicated on all plans.
  - ☐ 9. Stormwater management plans and details.
  - ☐ 10. Lighting plan in footcandles and light fixture cut sheets.
- Building:**
- ☐ 1. Building size, configuration and orientation.
  - ☐ 2. Distance from lot lines.
  - ☐ 3. Distance from other buildings, improvements and natural features.
  - ☐ 4. Location of well, septic tank, drainfield, etc. (if applicable)
  - ☐ 5. Additional proposed additions or new structures.
  - ☐ 6. Construction type (wood frame, structural steel, etc.).
  - ☐ 7. Foundation type (full basement, slab on grade, etc.).
  - ☐ 8. Number of levels.
  - ☐ 9. Siding/exterior covering type, color, texture, etc.
  - ☐ 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
  - ☐ 11. Roofing material type, color, texture, etc.
  - ☐ 12. Exterior door and window location, size, type, etc.
  - ☐ 13. Fire protection sprinklers or fire alarm systems.
- Ingress, Egress, Parking:**
- ☐ 1. Location of highway and road access points.
  - ☐ 2. Location, size, configuration of drivers and walks.
  - ☐ 3. Number, size, location of parking spaces.
  - ☐ 4. Location of handicapped parking and accessible building entrances.
  - ☐ 5. Bicycle rack(s).

ARCHITECTURAL AND DESIGN REVIEW APPLICATION  
Page 2

- Landscaping:
- ☐ 1. Location, species, size of existing trees, shrubs, and plantings.
  - ☐ 2. Location, species, size of proposed plantings.
  - ☐ 3. Location and size of all paved, seeded/sodded and gravelled areas.
  - ☐ 4. Location of all retaining walls, fences, berms and other landscape features.

**\*It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed: \_\_\_\_\_

Applicant or Authorized Agent

Date: \_\_\_\_\_

4/20/15

**\*\*\* Application shall be accompanied by one (1) set of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to [planning@city.fitchburg.wi.us](mailto:planning@city.fitchburg.wi.us). Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. This time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: 4/21/2015

Plan Commission Date: \_\_\_\_\_

Comments: \_\_\_\_\_

Signed: \_\_\_\_\_

Date: \_\_\_\_\_



**JOSEPH LEE + ASSOCIATES, LLC**

2418 Crossroads Drive, Suite 2300

Madison, Wisconsin 53718

608.241.9500

April 21, 2015

City of Fitchburg Plan Commission  
c/o Mr. Thomas Hovel  
City of Fitchburg Planning Department  
City Hall - 5520 Lacy Road  
Fitchburg, Wisconsin 53711

RE: Elan Apartments  
PDD - SIP Submittal & Architectural Design Review Submittal

Mr. Hovel -

On behalf of Fiduciary Real Estate Development, Inc., please find the following Submittal Packages for the Elan Apartments enclosed:

**PDD-Specific Implementation Plan / Architectural Design Review**

- Re-Zoning Application Form, Architectural Application Form, and \$825 Fee
- (4) Copies of the Specific Implementation Package (11x17)
- (2) Copies of all Specific Implementation Design Drawings (24x36)
  - Civil Engineering
  - Landscape
  - Site Lighting
  - Architectural
- (1) CD with electronic files of the above, as well as an electronic file of the Legal Description

In addition to the submittal materials above, we will be providing the following information at the Plan Commission meeting for approval:

- Three-dimensional images that further illustrate the design.
- An exterior material sample board

With these Submittal Packages, we respectfully request that the Specific Implementation Plan & Architectural Design Review be placed on the Plan Commission agenda for review & approval.

Thanks for your assistance throughout this process. We are excited to be a part of this project. Please do not hesitate to contact our office at 608-241-9500 if you have any questions or need anything else.

Thank you,

Leah Teske



ELAN APARTMENT  
FITCHBURG, WISCONSIN



SPECIFIC IMPLEMENTATION PLAN

APRIL 21, 2015

## CONTENTS :

- PAGE 3 PROJECT LOCATION & GENERAL DESCRIPTION
- PAGE 5 RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT
- PAGE 6 SOCIAL & ECONOMIC IMPACTS
- PAGE 7 CONSISTENCY WITH COMPREHENSIVE PLAN
- PAGE 10 LAND USE
- PAGE 11 SITE DESIGN & PLANNED DEVELOPMENT ZONING STANDARDS
- PAGE 13 MASTER SIGN PROGRAM
- PAGE 13 ENVIRONMENTAL BENEFITS OF USING PLANNED DEVELOPMENT ZONING
- PAGE 14 ORGANIZATIONAL STRUCTURE
- PAGE 15 PROJECT IMPLEMENTATION
- PAGE 15 NEIGHBORHOOD INPUT
- APPENDIX 'A' - ALTA Survey & Aerial CSM
- APPENDIX 'B' - General Development Plan Recording
- APPENDIX 'C' - Specific Implementation Plan
  - SIP Civil Plans
  - SIP Landscape Plans
  - SIP Site Lighting Plans
  - SIP Architectural Plans
- APPENDIX 'D' - Sign Program
- APPENDIX 'E' - Neighborhood Input Information

## PREVIOUS GENERAL IMPLEMENTATION PLANS

THIS DOCUMENT SHALL SERVE AS THE SPECIFIC IMPLEMENTATION PLAN TO THE PREVIOUS GENERAL DEVELOPMENT PLANS:

- THE QUARRY VISTA APARTMENT HOMES GENERAL IMPLEMENTATION PLAN DATED OCTOBER 21, 2014, AMENDED NOVEMBER 5, 2014, AND APPROVED BY THE FITCHBURG COMMON COUNCIL ON NOVEMBER 25, 2014.

THE SUBSTANTIVE & REGULATING TEXT OF THIS SPECIFIC IMPLEMENTATION DOCUMENT IS EXACTLY AS IT APPEARS IN THE GENERAL IMPLEMENTATION PLAN AMENDMENT DATED NOVEMBER 5, 2014.

## PROJECT TEAM:



FIDUCIARY REAL ESTATE DEVELOPMENT, INC.  
789 North Water Street - Suite 200  
Milwaukee, Wisconsin 53202  
Contact: Craig Raddatz  
414.226.4535



D'ONOFRIO, KOTKE, & ASSOCIATES, INC.  
7530 Westward Way  
Madison, Wisconsin 53717  
Contact: Bruce J. Hollar  
608.833.7530



JLA ARCHITECTS + PLANNERS  
2418 Crossroads Drive - Suite 2300  
Madison, Wisconsin 53718  
Contact: Joseph Lee  
608.241.9500

## PROJECT LOCATION & GENERAL DESCRIPTION

The Elan Residential Development will be a quality high-density residential community to serve the increased demand for housing in the Fitchburg area over the next five years and beyond. It will be located on a 4.84 acre site at the north east corner of the current intersection of Fitchrona Road and Lacy Road.

- Outlot 9 - The 4.84 acre parcel for residential uses of this project.

### Surrounding Context

The project site is surrounded by existing residential uses to the immediate north, south, and west with recreational uses further northeast (Quarry Ridge Recreation Area), light industrial uses further north (north of Verona Rd.), and future single family residential use to the immediate east.

### Existing Topography & Wetlands

The project site has moderate topographical relief - with about 20 feet of grade drop from the southeast portion of the site to the north and west portion of the site. The northwest portion of the site is the low point of the site.

### Existing Vegetation

The project site is adjacent to an existing quarry. The northern and eastern portion of the site currently contains the majority of the site's vegetation - with various trees and underbrush. There are no known landmark or heritage trees on the property. The Quarry Vista developer is delivering a cleared and graded site.

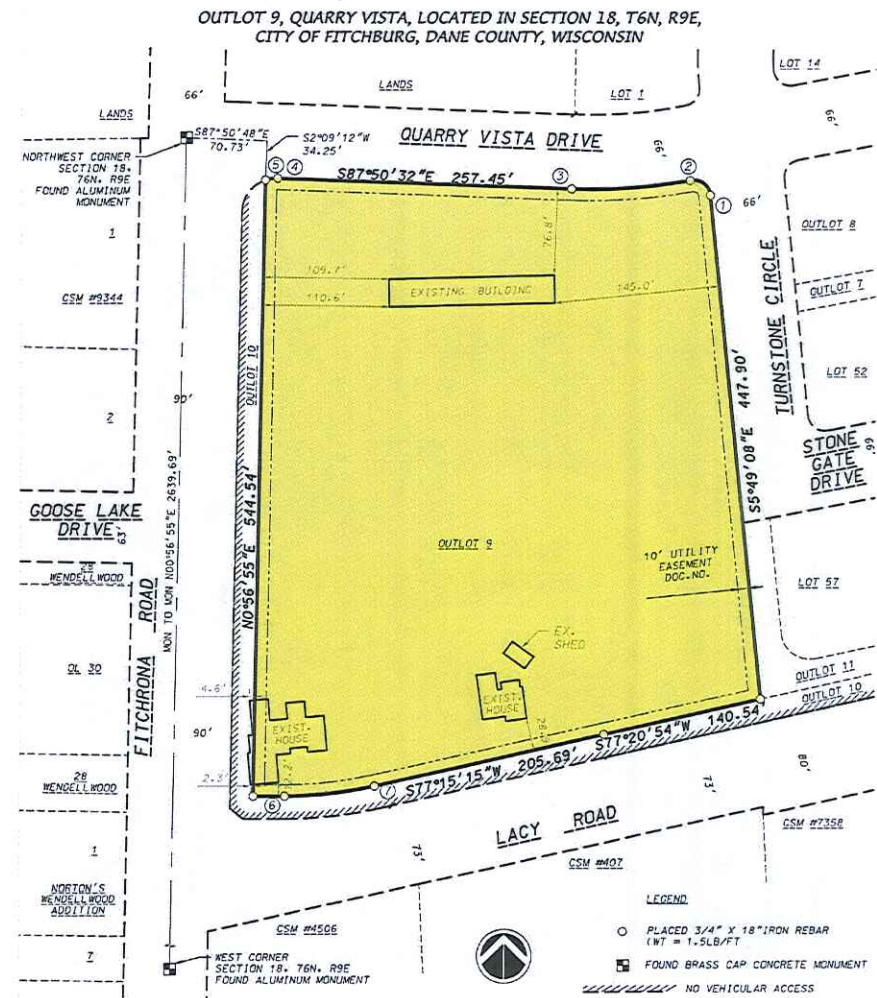


Legal Description – Outlot 9 of Quarry Vista Preliminary Plat (Entire Property)

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning.

Containing 210,871 square feet (4.841 acres).



---

## RATIONALE FOR A PLANNED DEVELOPMENT DISTRICT

As confirmed by the City Plan Commission at their September 16, 2014 meeting, in which they expressed a "preference for the applicant to use PDD zoning for this project", this project will utilize the City's PD Planned Development District instead of the City's R-H High Density District.

Specifically, in order to accomplish the goals of providing a quality high-density infill development with first class amenities, we reference the City's Ordinance with the following reasons:

- Section 22-144 – Permitted Uses (3): Only permits up to 8 units per building. While we realize dwelling structures having greater than eight dwelling units are allowed as a Conditional Use (per 22-145 (6)), we desire the long-term stability afforded under a permanent zoning classification.
- Section 22-146 – Dimensional Standards (1): Does not allow more than two multiple family dwelling unit structures per lot. We are proposing three multiple family dwelling unit structures on one lot. To make this an integrated, vibrant community, we must have the design flexibility afforded in the PD zoning for the drives, parking lots, and walking connections between buildings.
- Section 22-146 – Dimensional Standards (2) b: Requires a minimum of 2,000 square feet of lot area per each Efficiency unit, 2,200 square feet of lot area per each 1 bedroom unit, and 2,400 square feet per each 2 bedroom unit, with the provision that each structured parking space reduces the minimum lot area by 500 square feet. We are proposing 10 Efficiencies, 88 One Bedrooms,

and 54 Two Bedrooms and 149 structured parking spaces. This provision would require our proposed lot to be 6.25 acres, based on our proposed 152 units. The City has already approved the lot (via approval of the final plat of Quarry Vista) at 4.84 acres and the maximum units of 156.

- Section 22-146 – Dimensional Standards (2) c: Restricts lot size to a maximum of 90,000 square feet. We are purchasing one developable lot for this project, already approved by the City, with an area of 210,871 square feet or 4.84 acres.
- Section 22-146 – Dimensional Standards (4): Sets the minimum front setback at 30 feet. In keeping with the City's desire to provide a more urban feel to multi-family residential developments, we propose a minimum 10 foot setback.
- Section 22-146 – Dimensional Standards (6): Sets the minimum street side setback at 25 feet. In keeping with the City's desire to provide a more urban feel to multi-family residential developments, we propose a minimum 10 foot setback.
- Section 22-146 – Dimensional Standards (8): Restricts the maximum building height to 45 feet. We are planning 3-stories of residential over an underground parking structure for each building. Although we have not yet developed the architectural building elevation, given the site topography and the need to work with the land, the maximum building height will likely be exceeded.

## ECONOMIC & SOCIAL IMPACTS

We believe that this project will have positive economic & social impacts on the area.

### Property Values and Tax Revenue

At total completion, it is estimated that this project would have a total value of approximately \$20,520,000. At this value, using the City's 2013 property tax rate the following tax receipts to the community could be realized annually:

State of Wisconsin:	\$3,500
Dane County:	\$64,000
City of Fitchburg:	\$161,000
Verona School District:	\$217,000
<u>Madison Area Tech. College:</u>	<u>\$38,000</u>
<b>Total Projected Annual Property Tax:</b>	<b>\$483,500</b>

In addition to the value of this specific project, the surrounding properties could realize an increase in values because of this project - thus creating additional tax revenues.

### Impact Fees

This project should generate the following estimated Impact Fees to the City (2015 fees listed):

Park Improvement Fee	152 units x \$145 =	\$22,040
Fire Protection Fee	98 ST/1BR x \$349 =	\$34,202
	54 2BR x \$473 =	\$25,542
<u>Water Impact Fee:</u>	<u>152 units x \$691 =</u>	<u>\$105,032</u>
<b>Total Projected Impact Fees:</b>		<b>\$186,816</b>

### Social Impacts

Although social impacts cannot be predicted or quantified, we believe that this project will also have a positive social impact on the area.

- The addition of this quality residential community should improve the perceived image of the immediate area.
- The addition of this quality residential community will help to keep existing residents in Fitchburg and bring new residents into Fitchburg.
- The addition of this quality residential community could serve as a catalyst for other uses - such as retail & commercial - to locate in the immediate area.
- The addition of this quality residential community could serve as an example for future development - creating higher standards in design & quality.

**CONSISTENCY WITH COMPREHENSIVE PLAN**

This project complies with the City of Fitchburg's Comprehensive Plan.

Specifically, the following is an analysis of how this project meets or advances the goals, objectives, and policies outlined in the Comprehensive Plan.

**Land Use Goal 1:**

This project preserves and enhances the natural features of the City as follows:

**Objective 1:** This project is consistent with the long term urban growth map and related phasing plan.

Policies: (2) This project will be served by gravity flow sanitary sewer  
(3) This project is being developed in the urban growth boundary and is not replacing high quality agricultural lands.  
(5) This project (growth) is consistent with the neighborhood plan

**Objective 2:** This project is protecting environmental resources by using high density, sustainable development and revitalization of underutilized land.

Policies: (2) This project is not within or near identified wetlands  
(7) This project is not within or near identified floodplains

**Land Use Goal 2:**

This project is a compact urban community that is visually and functionally distinct from the rural and agricultural community.

**Objective 1:** This is a project that is a significant reinvestment in the community as a redevelopment of underutilized land.

Policies: (1) This is a redevelopment of a former gravel pit.

**Objective 3:** This is a compact development that, when incorporated into the entire Quarry Vista development, will have a logical and sustainable mix of uses and building types.

Policies: (1) This project provides needed residential rental units.  
(2) This project fits in well with the existing and planned infrastructure and land uses.

**Objective 5:** Utilities and infrastructure are being extended to this project in an efficient manner.

Policies: (1) This project is within the urban growth area.  
(3) This high-density project makes use of the location near Fitchrona Road (3,500 cars per day) and Lacy Road (3,500 cars per day).

**Objective 7:** This project is within the urban service area.

Policies: (3) This project is within the urban service area.

**Objective 8:** This project is consistent with the recently amended map – High Density Residential.

Policies: (1) PDD zoning is consistent with the High Density Residential land use designation.

**Natural Resources Goal 1:**

This project will protect the natural environment.

**Objective 3:** This project will protect natural resources

Policies: (1) This project will meet all current City stormwater control requirements.

- (2) This project will meet all current City erosion control requirements.
- (3) This project will meet all current Floodplain and Wetland ordinances. There are no floodplains or wetlands within the project boundary.
- (5) This project is not developed on private septic.
- (7) This project features stormwater infiltration.

**Housing Goal 1:**

This project will provide a much in-demand housing choice: Market-rate rental units.

**Objective 1:** After engaging nationally recognized residential experts Tracy Cross and Associates of Schaumburg, IL to perform a market study of alternative uses, they proposed a first class apartment home community. The three stories over underground parking, with 44 to 56 unit buildings, feature average residences of 929 square feet and average rent of \$1,150 per month. This market study and our business experiences of 25 years owning in excess of 4,000 apartment residences have determined this will be highly demanded, bring quality residents and a benefit to the City of Fitchburg.

- Policies:**
- (1) This project is an efficient use of land in the urban service area and provides for multi-modal friendly densities.
  - (2) This project adds variety to the Quarry Vista neighborhood
  - (4) This project will meet the demand of new employees within the Fitchburg/Verona area which is experiencing a significant influx of \$45,000 to \$80,000 per year jobs.

**Housing Goal 2:**

This project makes efficient use of land for housing.

**Objective 1:** This project is a compact neighborhood.

- Policies:**
- (1) This project is efficient to serve and this preserves rural land resources.
  - (2) In order to provide a variety of housing units, we will be offering studio, one-bedroom, and two-bedroom units.
  - (4) This infill project makes wise use of land in the current urban service area, where service provisions already occur.
  - (5) We are proposing higher but livable residential density, which promotes wise use of the land resource and reduces land located elsewhere required to meet housing demand. This helps to preserve agricultural and other open space land outside the urban service area.
  - (6) By utilizing the PDD design review process, the City will be allowed to ensure sound sustainable housing design.

**Objective 2:** This residential development is occurring in an area with existing infrastructure and sewer.

- Policies:**
- (1) This residential housing project is located in an area served by full urban services, including sanitary sewers and public water within convenient access to community facilities, employment centers, and to arterial highways.
  - (2) This project is not an unsewered subdivision.

**Utilities Goal 2:**

Existing urban services will be extended within the urban development boundary area as part of this project.

**Objective 1:** This project will improve the condition of the existing sanitary sewer and water infrastructure.

- Policies:**
- (2) As part of the Quarry Vista development, both Lacy Road and Fitchrona Roads will have segments improved, including the addition of paved bike paths.

(4) Our entire project will be served with gravity flow sanitary sewer.

**Objective 2:** This project is being developed within the existing urban service area and adjacent to existing public infrastructure.

**Policies:**

- (1) Utilities will not be extended across substantial vacant land.
- (2) Water and sewer will be extended concurrently with new streets.
- (3) Utilities will not be placed in wetlands or other environmentally sensitive areas.

**Transportation Goal 1:**

This project is part of a coordinated land use and transportation system.

**Objective 1:** This project is a compact, urban development.

**Policies:**

- (1) This project features buildings closer to the sidewalks, street trees, street lighting, lower parking ratios, structured parking, and parking behind buildings.

**Objective 3:** In conjunction with this project, the City has been coordinating with the Town of Verona on the roadway connections to Fitchrona Road.

**Policies:**

- (2) The Quarry Vista project is dedicating appropriate road right-of-way for both Fitchrona and Lacy Roads.

**Transportation Goal 2:**

In conjunction with this project, a safe and efficient transportation system will be provided for the Quarry Vista neighborhood.

**Objective 1:** In conjunction with this project, the overall safety of the transportation system in the North Fish Hatchery Road corridor will be improved.

**Objective 2:** In conjunction with this project, proper traffic management and travel time reliability will be improved in the Quarry Vista neighborhood.

**Policies:**

- (2) The pattern of streets and sidewalks in the project area will maximize the connectivity of land uses within the neighborhood and to areas outside the neighborhood.
- (6) This project will not have direct access to either Fitchrona or Lacy Roads.
- (7) This project will not have direct access to either Fitchrona or Lacy Roads.

## LAND USE

When complete, this project will contain multi-family residential uses.

### Outlot 9 Land Use

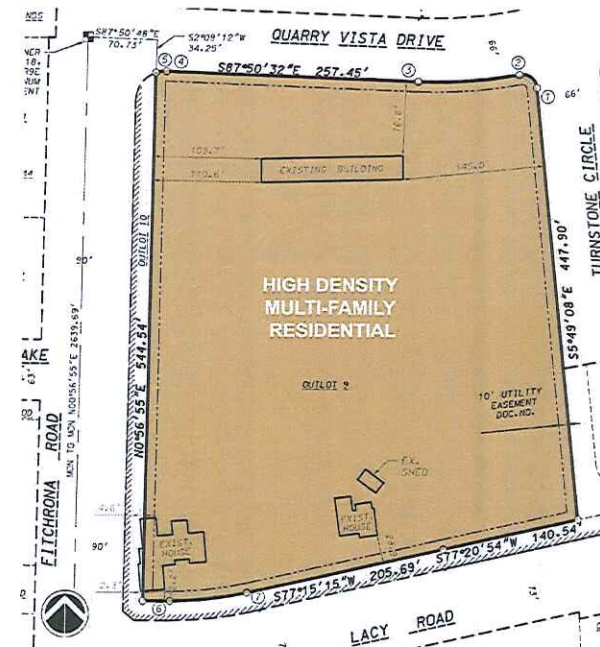
This 4.84 acre parcel will be consistent with the City's Comprehensive Plan with a High Density Multi-Family Residential Use. It will have 152 residential apartment units along with their associated common amenity spaces. At the time of this Specific Implementation Plan, the mix of residential units is as follows:

- Studio Units: 6%
- 1 or 1 Bedroom+Den Units: 58%
- 2 or 2 Bedroom+Den Units: 36%

Within each unit type there will be a variety of unit sizes - with an average unit size of approximately 929 square feet. This mix of unit types & sizes will serve a variety of potential residents.

In addition to the residential units themselves, Outlot 9 will contain various common space amenities integrated within the buildings or around the site. At the time of this Specific Implementation Plan, the anticipated common amenities are:

- Pool with sundeck
- Business Center
- Fitness Center
- Clubroom with Kitchenette
- Walking Paths with Dog Stations
- Other Green and/or Open Space for passive and active activities



## SITE DESIGN & ZONING STANDARDS

The Masterplan of Outlot 9 has been thoughtfully designed to address numerous site challenges including the existing topography, storm water management, and project identity. See Appendix 'C' for the Specific Implementation Plan.

### Masterplan Design Highlights:

- To work with the existing topography of the site, building pads are kept higher along the east property line, and lower along the west property line (Fitchrona Road) - stepping down to the west.
- Storm Water Management Facilities are located to allow storm water to be collected on site.
- The buildings are located & orientated to address the street edge and to help define the public realm.
- Surface parking is kept to the interior of the site to reduce its visual impact from the public streets.
- Incorporating the storm water management pond as an amenity adjacent to the project's other common space amenities help give the project a distinct entry & identity.
- Pedestrian pathways not only connect the site internally, but also connect the project site with adjacent parcels.

### Off Street Parking:

The City's typical parking requirements require two parking stalls per residential dwelling unit. Based on our extensive experience in owning & managing large multi-family communities, and considering the above-mentioned unit mix, we find that this requirement would be excessive. Therefore, we are proposing a total of 1.5 parking stalls per dwelling unit - with each one and two bedroom unit having one parking stall within the underground parking structure. We believe that providing this level of parking will be appropriate for this project, will allow the site to have less impervious area, and will minimize the visual impact of surface parking lots on the site and the surrounding areas.



### Bicycle Parking:

In addition to off street vehicular parking, we are proposing a total of 1.0 bicycle parking stalls per dwelling unit. Exterior stalls are located with proximity to each building's main entrance for easy access, while interior bike hooks are proposed above each Lower Level parking stall.

BUILDING		BICYCLE PARKING			
NAME	UNITS	COVERED	SURFACE	TOTAL	RATIO
A1	44	44	5	49	1.11 PER UNIT
B1	52	52	5	57	1.10 PER UNIT
B2	56	53	5	58	1.04 PER UNIT
TOTALS	152	149	15	164	1.08 PER UNIT

Storm Water Management Overview:

The following items are highlights of the Storm Water Management Design for the project:

- Storm water management will address peak control, water quality and infiltration.
- Peak control and water quality control from the dirty parking lots will occur within the wet portion of the detention pond.
- The development will take advantage of the native sandy soils and provide infiltration in a basin adjacent to the wet detention. All clean rooftop runoff from the buildings will be directed into the infiltration area that will be restored with native prairie plantings.
- All storm water management measures will meet or exceed the City of Fitchburg's ordinance requirements.
- The maintenance of all storm water management measures within Outlot 9 will be the responsibility of the property Owner.

Landscape Design:

The new landscape design for Outlot 9 of this project will meet all City of Fitchburg landscape design requirements. Please see Appendix 'C' for the Specific Implementation Landscape Plans for Outlot 9. This plan will be further developed and additional detail and information will be provided with the subsequent Specific Implementation Plan submittals.

Open Space & Recreational Space:

Each building in the Masterplan of Outlot 9 is designed with adjacent open space for passive, flexible recreation. Additionally, the upper and lower surface parking lots are separated by a central green space.

Refuse & Recycling Storage & Removal:

Each building within the development will have refuse & recycling rooms within the buildings themselves located on the Lower Level near the overhead door entrance. A private waste management company will be contracted with to provide recycling & refuse removal services as appropriate for the development.

Planned Development Zoning Standards

Under the proposed Planned Development Zoning, Outlot 9 shall meet the following Zoning Standards:

- Residential Density: 32 units per acre (maximum)
- Building Height: Maximum of 3 Stories over Parking and Maximum 60 feet (to highest roof ridge)
- Street Setback: 10' (minimum), 15' (minimum at Fitchrona Rd.) Exterior Stairs, Entry Stoops, Planters, and overhangs are permitted to encroach within this Setback
- Side Yard Setback: 10' (minimum)
- Rear Yard Setback: 10' (minimum)
- Building Coverage: 32% of Parcel Area (maximum)
- Floor Area Ratio: 1.00 (maximum)
- Impervious Surface Ratio: 60% of Parcel Area (maximum)
- Off-Street Auto Parking: 1.5 (min), 1.75 (max.) Total Spaces per Dwelling Unit  
0.9 Structured Spaces per Dwelling Unit (min.)
- Off-Street Bicycle Parking: 1.0 Bike Spaces per Dwelling Unit (min.)

Specific Implementation Plan Data

At the time of this Specific Implementation Plan, the Outlot 9 Masterplan Data is as follows. The exact data (below) is subject to change slightly as the project's design is further developed; however, the final data shall meet all Specific Implementation Plan Zoning Standards (above).

ELAN - SPECIFIC IMPLEMENTATION PLAN DATA									
BUILDING					PARKING				
NAME	USE	FOOTPRINT	FLOOR AREA	UNITS	COVERED	SURFACE	TOTAL	RATIO	
A1	Multi-Family Residential	18,179 S.F.	51,393 S.F.	44	44	26	70	1.59	PER UNIT
B1	Multi-Family Residential	22,079 S.F.	62,247 S.F.	52	52	32	84	1.62	PER UNIT
B2	Multi-Family Residential	22,063 S.F.	62,247 S.F.	56	53	31	84	1.50	PER UNIT
TOTALS		62,321 S.F.	175,887 S.F.	152	149	89	238	1.57	PER UNIT

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	31.40 Units/Acre	152 Units / 4.84 AC. = 31.40
BUILDING COVERAGE	29.6% of Parcel	62,321 S.F. / 210,871 S.F. = 29.6%
FLOOR AREA RATIO	83.4% of Parcel	175,887 S.F. / 210,871 S.F. = 83.4%
IMPERVIOUS SURFACE	57.1% of Parcel	120,350 S.F. / 210,871 S.F. = 57.1%
LANDSCAPE AREA	42.9% of Parcel	90,521 S.F. / 210,871 S.F. = 42.9%

## MASTER SIGN PROGRAM

In addition to address signage which will be mounted on each respective building, the permanent exterior signage for the project will consist of three (3) exterior signs that total 127.9 square feet of signage area at project completion. During the construction of the project, there will be four (4) temporary signs used. The location and design of these signs are specifically illustrated in Appendix 'D' – Master Sign Program. In summary, they will be made up of the following:

- 1.) One (1) Auxiliary Sign to provide direction to & from the Leasing Office will be located at the north end of the parking lot. This sign will have a signage area of 6 square feet. Please note that this square footage does not include the mounting posts below the sign areas (See Directional Sign D in Appendix 'D').
- 2.) One (1) Monument Sign will be located at the southeast intersection of Quarry Vista Drive at Fitchrona Road. This sign will be 72 square feet. (See Location A Sign in Appendix 'D').
- 3.) One (1) Monument Sign will be located at the northwest corner of the Building 'B1' along Quarry Vista Drive. This sign will be 48.9 square feet (See Location C Sign in Appendix 'D').
- 4.) Also note that Locations A, B, C, and D will host temporary leasing and directional signs, which will be removed by project completion. (See Appendix 'D').

## ENVIRONMENTAL BENEFITS OF PLANNED DEVELOPMENT ZONING

The Environmental Benefits of using Planned Development District Zoning for this project come from the greater flexibility in both density & zoning standards that is allowed under PDD Zoning than would be allowed under the City's High Density Residential Zoning.

### Reduction of Sprawl

Because of PDD Zoning, more units can be developed on this site. Therefore, this development can help meet the increasing need for residential units on less land area than would be otherwise be required under the City's High Density Residential Zoning.

### Less Impervious Surface Area

The Parking Standards for PDD Zoning allow the Plan Commission to approve greater flexibility in the amount of vehicular parking that must be provided on site. In our Development Team's experience, the parking requirements of the City's High Density Residential Zoning District are excessive for this project - and would result in more impervious surface area across the site than what our plan proposes. Utilizing PDD Zoning for this project will decrease run-off and allow additional landscaped areas.

### Enhanced Public Realm

With PDD Zoning, the site can be designed to enhance the character and visual aesthetics of the public realm. Under PDD Zoning, the building setbacks can be reduced to allow the buildings to be located & orientated to address the street edge and to help define the public realm. This also provides additional land area behind the buildings - so surface parking can be kept to the interior of the site and reduce its visual impact on the public streets.

## ORGANIZATIONAL STRUCTURE

This project will be professionally owned and managed by an entity controlled by Fiduciary Real Estate Development, Inc.

At Fiduciary, we have a long track-record of successful property development & management throughout Wisconsin - including Fitchburg. We take pride in our great reputation, and the relationships we have with our employees, our residents, and the communities in which we are located.

### Supervision

We have the most experienced, well-trained supervisory employees.

- We have Corporate reviews for each property on a bi-monthly basis – and are updated daily on emergency maintenance issues.
- Each Regional Supervisor oversees 3 to 5 properties and visits each property at least once per week. This keeps them in touch with their properties and holds each on-site Property Manager accountable.
- Each on-site Property Manager conducts a daily staff meeting and is the key contact person for each property.
- We maintain continual maintenance personnel communication so we are on top of all existing or potential maintenance issues.
- We implement thorough bi-monthly property inspections for each property.

### Training

We implement a proven training program for our employees to make sure everyone knows their role and performs their responsibilities as expected.

- We maintain a 300-page manual for property management. It is a 'living document' that is updated at semi-annual manager meetings.
- We employ onsite training by both Regional supervisor and property managers.

### Applicant Screening

To help ensure that we are attracting quality residents, we obtain the following information from prospective residents:

- Criminal background checks
- Credit checks
- Recommendations/Referrals of previous landlords
- Income qualifications & verifications

### Track-Record of Success

We have a long track-record of successful property development & management. The key to our long-term success of multi-family residential communities is the continual reinvestment in the properties. We continually evaluate the need to upgrade & improve our properties - to maintain them as highly desirable communities that attract quality residents. For example, in the past five years at our Valley View Apartment project in Fitchburg, we have spent \$1,400,000 on roofing, siding, pool improvements, a Wi-Fi Café, and a Fitness Center. This year we are working on upgrading individual units and common area carpets.

According to Kathy Nettesheim, Vice President of Property Management, another key to success is having excellent relationships with the communities in which we are located. We have found that the City of Fitchburg is one of the best communities that we work with – our communication is often and thorough.

**PROJECT IMPLEMENTATION**

At the time of this Specific Implementation Plan, we are working with the Department of Public Works to determine the specific timeline for public improvements for this project. Quarry Vista subdivision improvements, including the Fitchrona Road water main, are expected for completion by Summer 2015.

The construction of the apartment buildings is anticipated to follow the following schedule in one single phase with completion in Fall 2016:

<u>Phase</u>	<u>Buildings</u>	<u>Schedule</u>
Phase 1	'B1'	(anticipated for Summer 2015)
Phase 1	'B2'	(anticipated for Summer 2015)
Phase 1	'A1'	(anticipated for Fall 2015)

However, the residential market demand will ultimately drive the overall schedule and could speed-up or slow down the timeline for full build-out.

**NEIGHBORHOOD INPUT**

On October 3, 2014, we mailed out a letter and an area map (an example of each is attached in Appendix 'E') to all owners of property within 300 feet of our project. The letter invited comment, as well as attendance, at a meeting held at the Hammersley Stone Offices on Tuesday, October 14, 2014 at 5:30 PM. At this meeting, we had nine people representing the neighboring properties (see the meeting sign-in sheet in Appendix 'E'). We provided a brief overview of our project and answered questions.

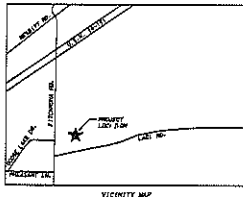
APPENDIX 'A'  
ALTA SURVEY & AERIAL CSM



---

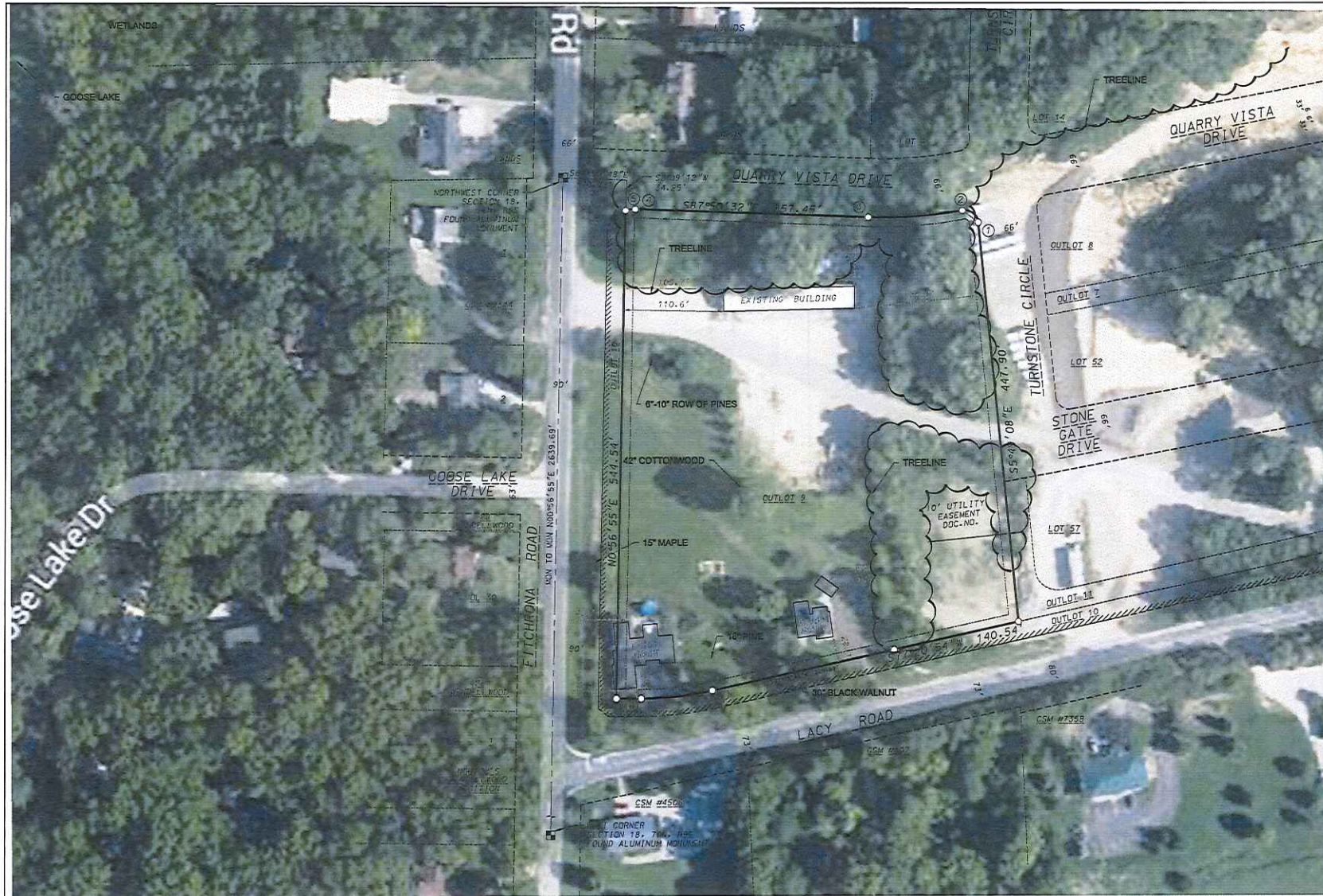
APRIL 21, 2015

Dated this 6th day of June, 2014

2. Surveyed for: Fiduciary Real Estate Development  
725 North Water Street, Suite 200  
Milwaukee, WI 53207



  
 AND NORTH WISCONSIN COUNTY  
 COGNATIC SYSTEM (JAN. JUNE  
 NORTH LINE OF THE NW 1/4  
 SECTION 18, T2N, R2E, S4E  
 30730 48'E  
  
 SCALE: 1" = 40'  
  
  
 DATE: 06-06-14  
 REVISED: 06-11-14  
  
 DRAWN BY: KRG  
 FN: 14-03-104  
 Sheet Number:  
 1 of 1



  
 DOUGLAS KENTZ AND ASSOCIATES, INC.  
 7540 Wisconsin Ave., Milwaukee, WI 53217  
 Phone: 608.833.7500 • Fax: 608.833.1009  
 YOUR MUTUAL MESSAGE FOR LAND DEVELOPMENT

AERIAL/CAM EXHIBIT  
**QUARRY VISTA**  
 CITY OF FITCHBURG, WISCONSIN


DATE: 10/28/14  
 REVISED:  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 DRAWN BY: GVP  
 FR: 14-05-104  
 Sheet Number:  
 1 OF 1

APPENDIX 'B'  
GENERAL DEVELOPMENT PLAN RECORDING

---

APRIL 21, 2015

**Planned Development District  
Granting General Implementation Plan  
Zoning for Portion of Quarry Vista Plat,  
Part of Lots 1, 2 and 3 CSM 11159**



**KRISTY CHLEBOWSKI  
DANE COUNTY  
REGISTER OF DEEDS**

**DOCUMENT #  
5118141  
12/18/2014 11:37 AM  
Trans. Fees  
Exempt #:  
Rec. Fee: 30.00  
Pages: 5**

**Legal Description:**

Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210,871 square feet (4.841 acres).

Plan Commission  
Initiated By

Susan B. Badtke  
Drafted By

11/4/2014  
Date

**ORDINANCE NO. 2014-O-37  
ZONING ORDINANCE AMENDMENT  
GRANTING GENERAL IMPLEMENTATION PLAN ZONING  
FOR PORTION of QUARRY VISTA PLAT, PART of LOTS 1, 2 & 3 CSM 11159**

WHEREAS, pursuant to Fitchburg Ordinance No. 87-0-06, Section 3, Zoning District Maps were adopted within the corporate limits of the City of Fitchburg until expressly altered by the City Council, and

Ordinance 2014-O-37  
Page 2 of 5

WHEREAS, Fiduciary Real Estate Development, Inc. has submitted an application (RZ-2043-14) for Planned Development District General Implementation Plan (PDD-GIP) zoning for part of lots 1, 2 and 3 CSM 11159, and

WHEREAS, the Plan Commission has reviewed, after public hearing on November 18, 2014, the application in accord with ordinance standards and recommends approval of PDD-GIP zoning for part of lots 1, 2 and 3 CSM 11159, with the area more particularly described in Exhibit A.

NOW THEREFORE the City Council of the City of Fitchburg, Dane County, Wisconsin does ordain as follows:

(A) PDD-GIP zoning is hereby granted for part of lots 1, 2 and 3 CSM 11159 as particularly described in Exhibit A, and in accord with submitted plans and information which accompanied the rezoning application in a report titled "Quarry Vista Apartment Homes General Implementation Plan - Amended November 5, 2014" received on November 4, 2014. The documents referred to above are hereby made a part of this ordinance, and with the following additional requirements:

1. Approval and recording of a land division will be required prior to SIP issuance.
2. Recording of a Subdivision Improvement Agreement.
3. Necessary public improvement shall be installed and accepted prior to any building construction, unless approvals are granted to allow early start under section 24-14(b) - (e). (An operable public water supply is one necessary condition under section 24.14.)
4. Park requirements and fees shall be calculated and handled with land division approval.
5. Signage shall be handled during the PDD-SIP (Planned Development District - Specific Implementation Plan) zoning.
6. Project is approved for 152 dwelling units in 3 structures.
7. Zoning standards shall follow those outlined in the report titled "Quarry Vista Apartment Homes General Implementation Plan - Amended November 5, 2014".

(B) This ordinance shall take effect following its publication, the consent of the property owner, or the recording of a plat, whichever occurs last. However, in accord with section 22-596 of the zoning code, owners shall consent within 30 days of approval for the PDD-GIP zoning to be in effect.

(C) Applicant shall pay cost of ordinance publication to avoid a two Council meeting approval process.

(D) Approval of preliminary and final plats by the Common Council.

The above and foregoing ordinance was duly adopted by the City Council of the City of Fitchburg, at a regular meeting held on the 25<sup>th</sup> day of November, 2014.

Patti Anderson  
Patti Anderson, City Clerk

Shawn Pfaff  
Shawn Pfaff, Mayor

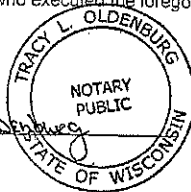
Approved: 12-2-14

STATE OF WISCONSIN)ss.  
COUNTY OF DANE

Personally came before me this 2<sup>nd</sup> day of December, 2014, the above named Patti Anderson, and Shawn Pfaff to me known to be the City Clerk and Mayor (respectively) of the City of Fitchburg, and the persons who executed the foregoing instrument and acknowledged the same.

Tracy L. Oldenburg  
Notary Public, State of Wisconsin

Printed Name of Notary Public: Tracy L. Oldenburg  
My Commission Expires: Dec 18, 2016



Consent of the Property Owner

Name: Keith E. Hammersley  
Title: Managing Member

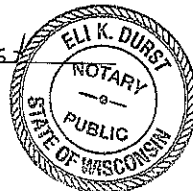
Date: 12/08/2014

STATE OF WISCONSIN)ss.  
COUNTY OF DANE

Personally came before me this 8 day of December, 2014, the above named Keith E. Hammersley to me known to be Member of Harriet Farm Land LLC and the person who executed the foregoing instrument and acknowledged the same.

Eli K. Durs  
Notary Public, State of Wisconsin

Printed Name of Notary Public: Eli K. Durs  
My Commission Expires: 12/18/16



Consent of Mortgage Holder:

Oak Bank  
Mary B. Schuchardt Date: 12-8-14  
Mortgage Holder, Senior Vice President  
Mary B. Schuchardt, Senior Vice President

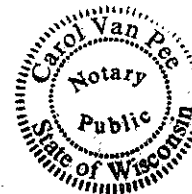
STATE OF WISCONSIN)ss.  
COUNTY OF DANE

Personally came before me this 8 day of December, 2014, the above named

Mary B. Schuchardt to me known to be the Senior Vice President of Oak Bank and the person who executed the foregoing instrument and acknowledged the same.

Carol Van Pee  
Notary Public, State of Wisconsin

Printed Name of Notary Public: Carol Van Pee  
My Commission Expires: 3-13-16



**Exhibit A—Legal Description**

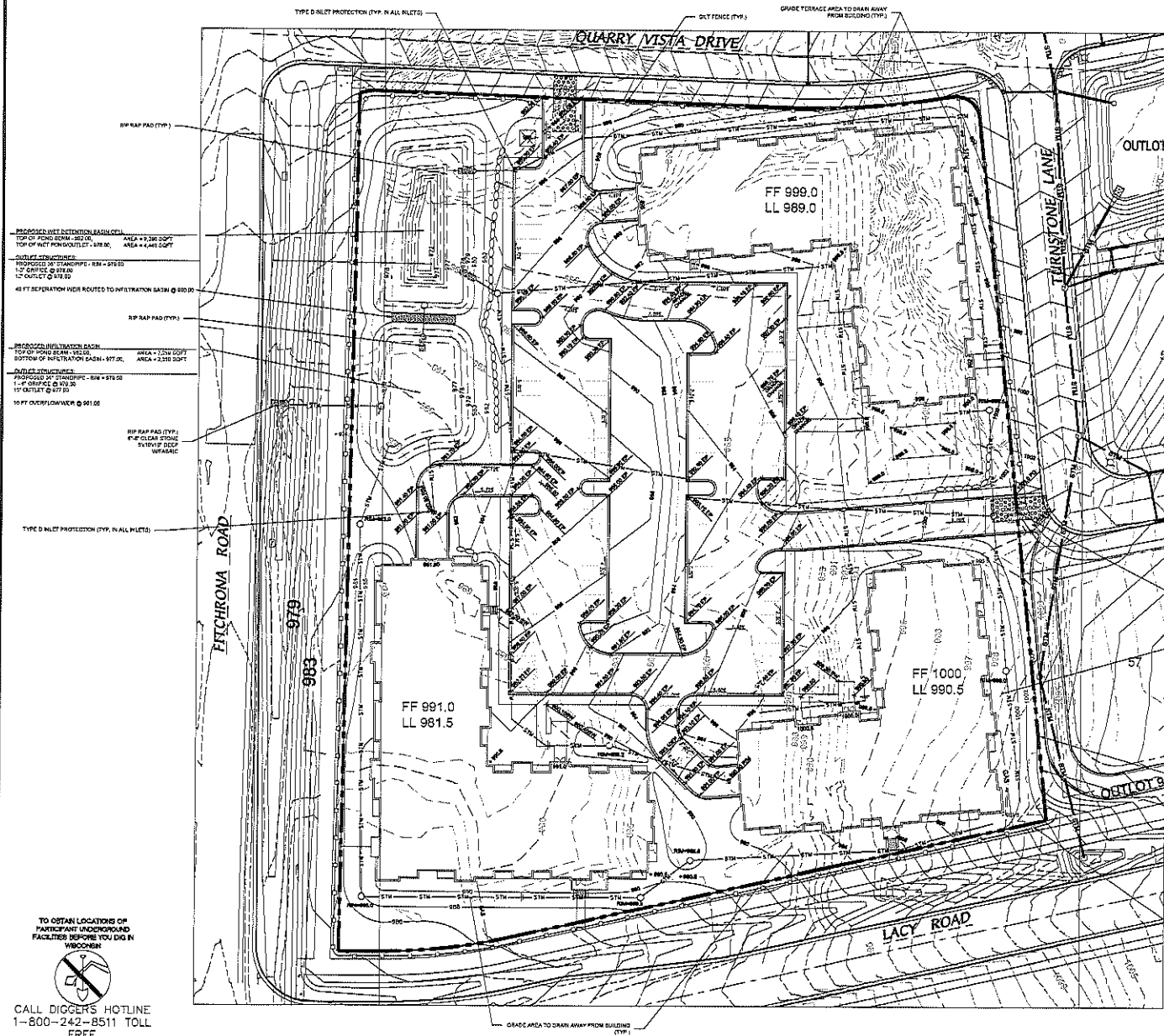
Part of Lots 1, 2 and 3, Certified Survey Map No. 11159 recorded in Volume 67 of Certified Survey Maps on pages 152-154 as Document Number 3959694, Dane County Registry, located in the NW1/4 of the NW1/4 of Section 18, T6N, 9E, City of Fitchburg, Dane County, Wisconsin to-wit:

Commencing at the Northwest corner of said Section 18; thence S89°50'48"E, 70.73 feet along the North line of said NW1/4; thence S02°09'12"W, 34.25 feet to a point of curve also being the point of beginning; thence Easterly along a curve to the right which has a radius of 30.00 feet and a chord which bears N81°49'03"E, 10.77 feet; thence S87°50'32"E, 257.45 feet to a point of curve; thence Easterly along a curve to the left which has a radius of 478.00 feet and a chord which bears N85°53'55.5"E, 104.23 feet to a point of curve; thence Southeasterly along a curve to the right which has a radius of 15.00 feet and a chord which bears S53°05'23"E, 22.04 feet; thence S05°49'08"E, 447.90 feet; thence S77°20'54"W, 140.54 feet; thence S77°15'15"W, 205.69 feet to a point of curve; thence Southwesterly along a curve to the right which has a radius of 356.24 feet and a chord which bears S83°37'38"W, 79.08 feet; thence N90°00'00"W, 27.59 feet; thence N00°56'55"E, 544.54 feet to the point of beginning. Containing 210,871 square feet (4.841 acres).

APPENDIX 'C'  
SPECIFIC IMPLEMENTATION PLAN

---

APRIL 21, 2015



**SUNDHOFER ENGINEERING AND ARCHITECTURE, INC.**  
7510 Wisconsin Ave., Madison, WI 53719  
Phone: 608.833.7330 • Fax: 608.833.1669  
WWW.SUNDHOFER-ENGINEERING.COM

**ELAN APARTMENTS**

GRADING AND EROSION CONTROL PLAN

FITCHBURG, WISCONSIN

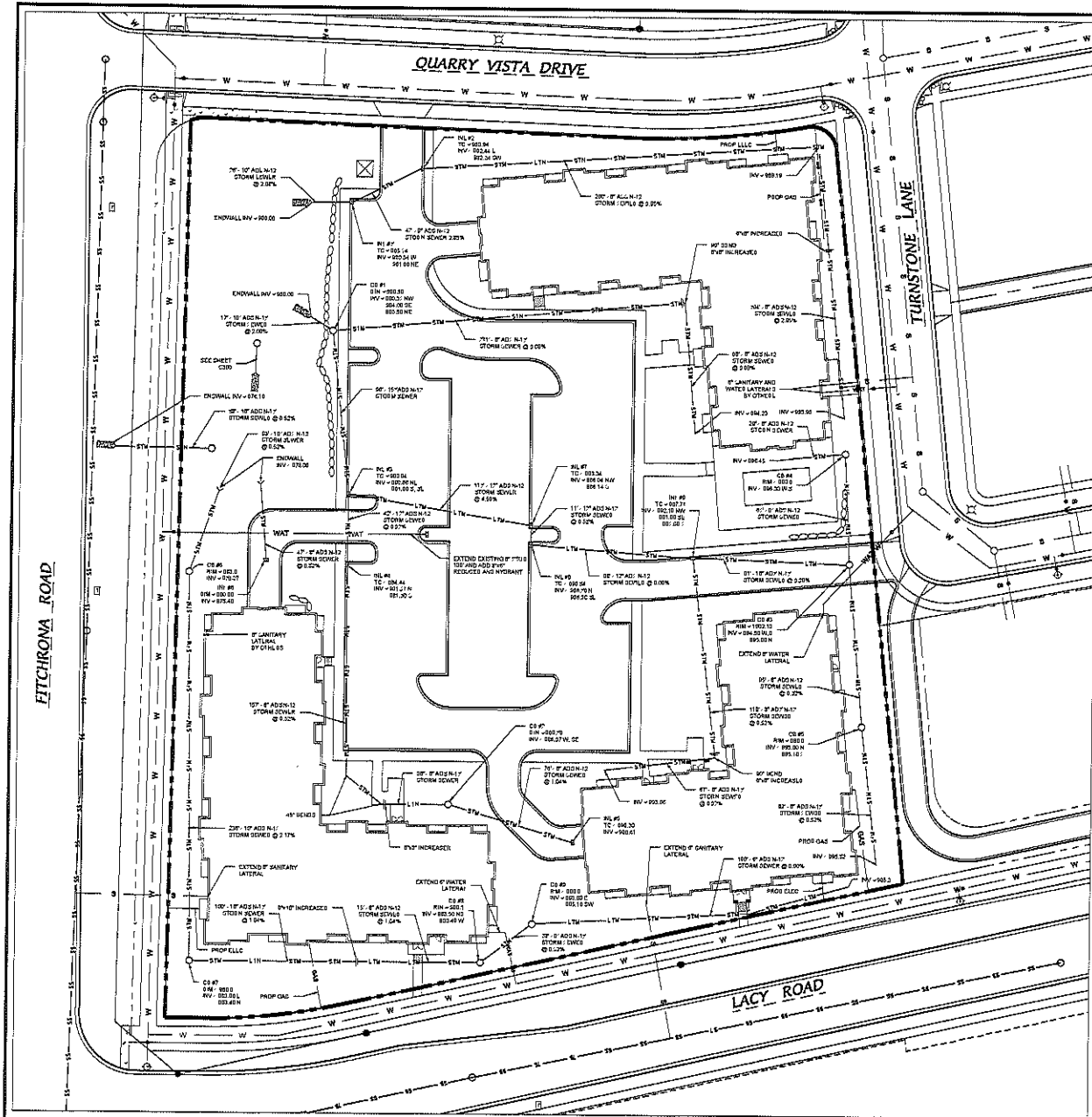
0 50'

DATE: 04-01-15  
REVISED:

DRAWN BY: MP  
JDN: 14-03-104


Sheet Number

C200





UTILITY NOTES:

1. ALL STORM SEWER AND SANITARY SEWER SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 8TH EDITION, INCLUDING ALL ADDENDUMS.
2. WATER MAIN SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF FITCHBURG AND DNR STANDARDS.
3. WATER MAIN SHALL HAVE A MINIMUM 8" OF BURY TO TOP OF PIPE.
4. CB #1, #9 SHALL BE 30" DIAMETER PRECAST MANHOLES WITH NEEDHAM R-1500 D1 CASTING AND GRATE.
5. CB #1, #3, #9, #10 SHALL HAVE NEEDHAM R-1500 CASTING WITH SOLID I.D.
6. CB #2, #4, #5, AND #8 SHALL HAVE NEEDHAM R-2000 C1 CASTING AND BEEHIVE GRATE.
7. INL #1, #4 AND #7, #8 SHALL BE 2' X 3' PRECAST STRUCTURES WITH NEEDHAM R-2007 FRAME AND GRATE.
8. INL #3 AND #6 SHALL BE 2' X 3' PRECAST STRUCTURES WITH NEEDHAM R-1978-BTC FRAME AND GRATE.
9. CONTRACTOR TO COORDINATE SANITARY LATERAL AND WATER SERVICE ROUTING AND BUILDING CONNECTION WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.
10. ALL STORM LINES CONNECTED TO BUILDING DOWNSPOUTS TO BE 4" ADS N-12 STORM SEWER SLOPED AT 1/8" PER FT WITH VIEWS INTO THE MAIN PARALLEL TO THE BUILDING.
11. PER CITY ORDINANCES, CONTRACTORS ARE NOT ALLOWED TO OPERATE CITY OWNED VALVES. CONTRACTOR SHALL CALL THE FITCHBURG UTILITY AT 270-4700 FOR OPERATION OF THESE VALVES.

  
**B. B. BETTE & ASSOCIATES, INC.**  
 2500 Wisconsin Avenue, Suite 200, Fitchburg, WI 53527  
 Phone: 608.833.7230 • Fax: 608.833.0119  
 WWW.BBETTEANDASSOCIATES.COM

SITE UTILITY PLAN  
**ELAN APARTMENTS**  
 LACY ROAD & FITCHRONA RD  
 FITCHBURG, WISCONSIN

DATE: 04-01-15  
 REVISION:

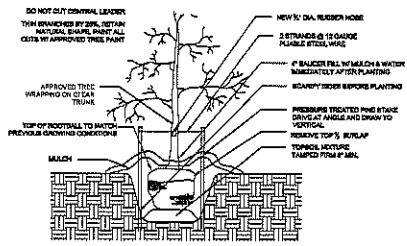
---

DRAWN BY: KJM  
 PLOT: 14-03-104

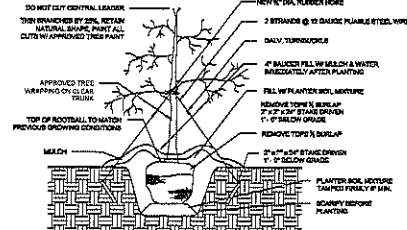
---

Sheet Number:  
**C300**

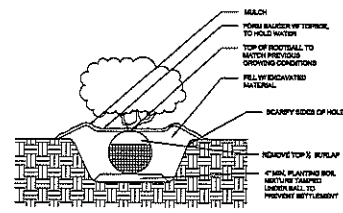




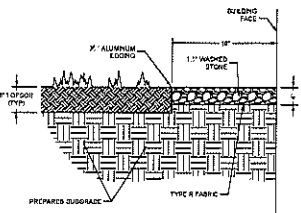
TREE PLANTING DETAIL  
(TREES OVER 2\"/>



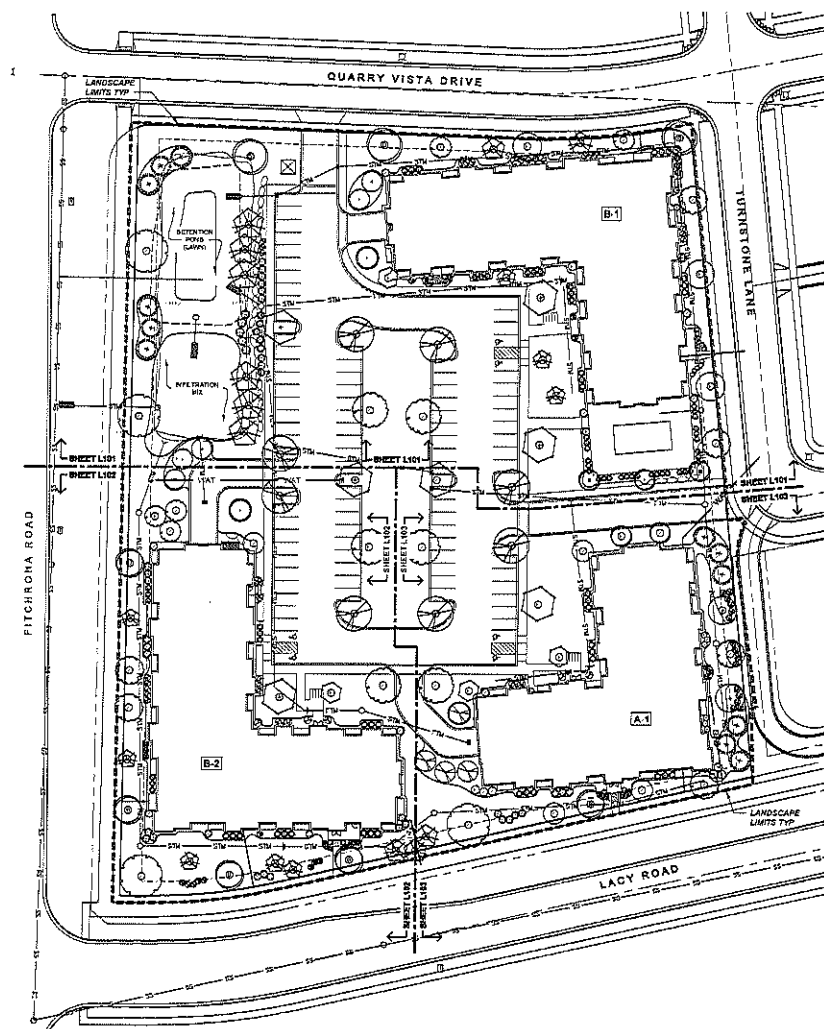
TREE PLANTING DETAIL  
(TREES UNDER 2\"/>



SHRUB PLANTING DETAIL



STONE MAINTENANCE EDGE



# SITE LANDSCAPE PLAN - GENERAL NOTES

- CONTACT DESIGNER'S HOLIDAY WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL THE PRIVATE UTILITIES PRIOR TO THE START OF WORK.
- ALL LANDSCAPE BEDS SHALL CONTAIN A 3\"/>

## LANDSCAPE SCHEDULE

CODE	SCIENTIFIC NAME	Common Name	HT	SP	ROOT CODE	NOTES
DECIDUOUS TREES						
A-1	Amelanchier alnifolia	Shadblow	4'	8'	RA	MAINTAIN
A-2	Amelanchier canadensis	Shadblow	4'	8'	RA	MAINTAIN
A-3	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
A-4	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
A-5	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
A-6	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
A-7	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
A-8	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
A-9	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
A-10	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
CONIFER TREES						
B-1	Juniperus horizontalis	Creeping Juniper	4'	8'	RA	MAINTAIN
B-2	Juniperus horizontalis	Creeping Juniper	4'	8'	RA	MAINTAIN
B-3	Juniperus horizontalis	Creeping Juniper	4'	8'	RA	MAINTAIN
B-4	Juniperus horizontalis	Creeping Juniper	4'	8'	RA	MAINTAIN
B-5	Juniperus horizontalis	Creeping Juniper	4'	8'	RA	MAINTAIN
B-6	Juniperus horizontalis	Creeping Juniper	4'	8'	RA	MAINTAIN
B-7	Juniperus horizontalis	Creeping Juniper	4'	8'	RA	MAINTAIN
B-8	Juniperus horizontalis	Creeping Juniper	4'	8'	RA	MAINTAIN
B-9	Juniperus horizontalis	Creeping Juniper	4'	8'	RA	MAINTAIN
B-10	Juniperus horizontalis	Creeping Juniper	4'	8'	RA	MAINTAIN
SHRUBS						
C-1	Amelanchier alnifolia	Shadblow	4'	8'	RA	MAINTAIN
C-2	Amelanchier canadensis	Shadblow	4'	8'	RA	MAINTAIN
C-3	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
C-4	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
C-5	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
C-6	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
C-7	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
C-8	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
C-9	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
C-10	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
PERENNIALS						
D-1	Amelanchier alnifolia	Shadblow	4'	8'	RA	MAINTAIN
D-2	Amelanchier canadensis	Shadblow	4'	8'	RA	MAINTAIN
D-3	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
D-4	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
D-5	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
D-6	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
D-7	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
D-8	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
D-9	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN
D-10	Amelanchier sp.	Shadblow	4'	8'	RA	MAINTAIN

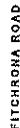
2000 W. 10th St. Suite 100  
 Anchorage, Alaska 99503  
 Phone: 907.561.1111  
 Fax: 907.561.1112  
 E-mail: info@elandscape.com

ELAN APARTMENTS  
 PITCHER, ALASKA



DATE: 04-03-15  
 REVISION:  
 1  
 2  
 3  
 4  
 5  
 6  
 7  
 8  
 9  
 10  
 11  
 12  
 13  
 14  
 15  
 16  
 17  
 18  
 19  
 20  
 21  
 22  
 23  
 24  
 25  
 26  
 27  
 28  
 29  
 30  
 31  
 32  
 33  
 34  
 35  
 36  
 37  
 38  
 39  
 40  
 41  
 42  
 43  
 44  
 45  
 46  
 47  
 48  
 49  
 50  
 51  
 52  
 53  
 54  
 55  
 56  
 57  
 58  
 59  
 60  
 61  
 62  
 63  
 64  
 65  
 66  
 67  
 68  
 69  
 70  
 71  
 72  
 73  
 74  
 75  
 76  
 77  
 78  
 79  
 80  
 81  
 82  
 83  
 84  
 85  
 86  
 87  
 88  
 89  
 90  
 91  
 92  
 93  
 94  
 95  
 96  
 97  
 98  
 99  
 100

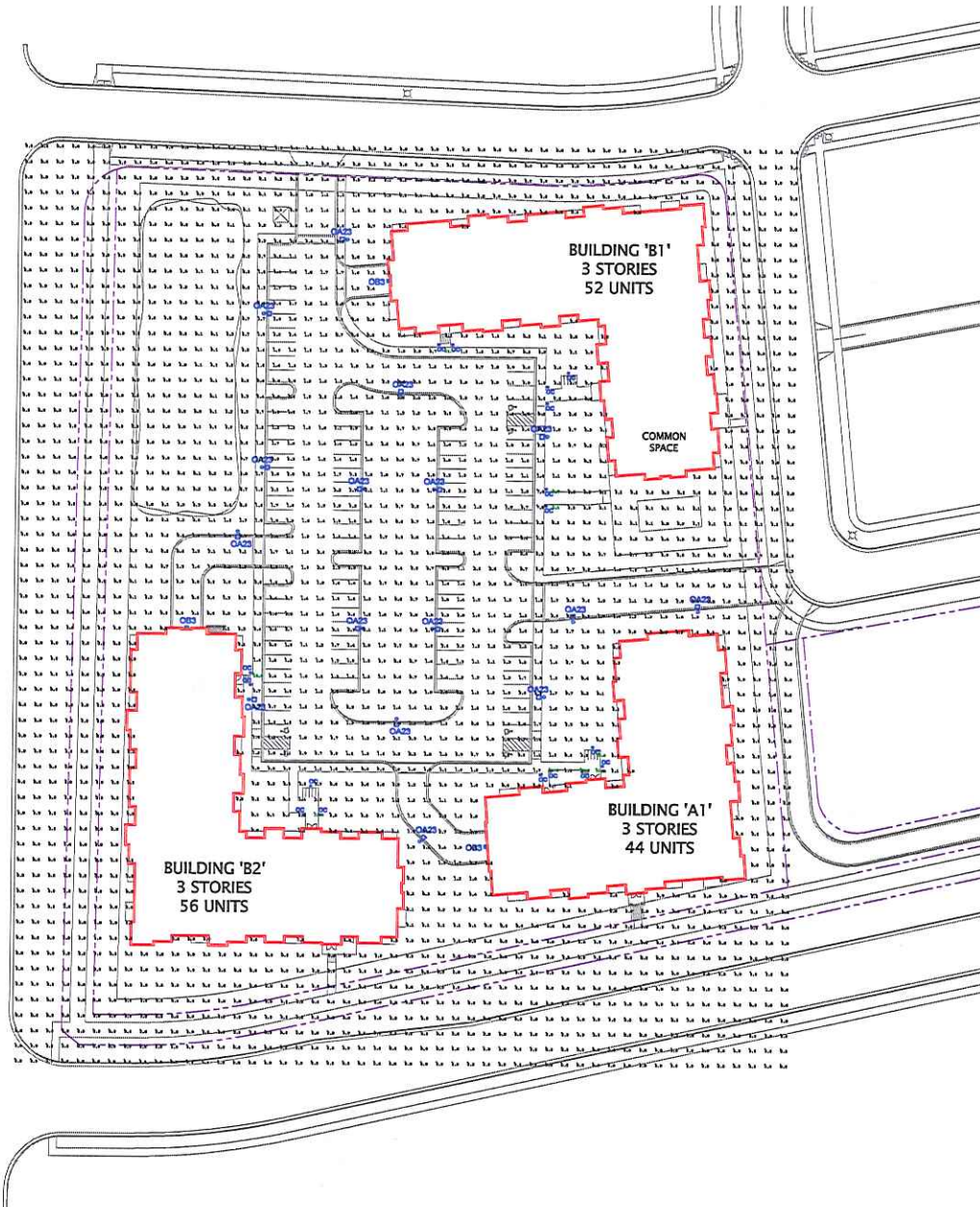




1. CONTRACTOR DIGESTS WORKING 3 MONTHS DAY PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL PRIVATE UTILITIES PRIOR TO THE START OF WORK.
3. ALL PLANTING AREAS SHALL CONTAIN A 2" DEPTH OF SHREDDED HARDWOOD BARK MULCH. LANDSCAPE DESIGNING SHALL BE "CURVED" EDGING.
4. ALL TREES IN TURF AREAS SHALL HAVE A 6" DIAMETER CIRCLE OF 2" DEPTH SHREDDED HARDWOOD MULCH.
5. ALL PLANTING AREAS NOT WITHIN A PLANTING BED SHALL BE FINISH GRADED, AND EDGED WITH 1" UNDRERSS SLOPE FOR THE PRO-JECT MANUAL. SPECIFICATIONS UNLESS OTHERWISE NOTED.
6. INFILTRATION MIX SHALL CONFORM TO 10 PRAIRIE NURSERY MOST NEEDING AND RAIN WATER INFILTRATION.
7. ALL GENERAL LANDSCAPE AREAS SHALL HAVE A MINIMUM 6" COMPACTED DEPTH OF TOPSOIL.
8. ALL LANDSCAPING SHALL BE IN ACCORDANCE WITH THE CITY ZONING ORDINANCE. IT BE THE PROJECT MANUAL FOR SPECIFICATIONS AND REQUIREMENTS FOR PLANTING, STAKING OF TREES, WARRANTY PERIOD, MAINTENANCE, ETC.
9. SEE GENERAL NOTES PLANTING SPECIFICATIONS.

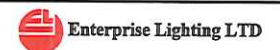
[illegible]

File: U:\User114\31701\Drawings\planoscape.dwg L103 Plotted: Apr 01, 2015 - 11:34am



Luminaire Schedule					
Qty	Label	Arrangement	Total Lamp Lumens	Lum. Lumens	LFP
16	OAS1	SINGLE	14000	3012	OAS1
3	OAS2	SINGLE	N/A	2040	OAS2
17	OAS3	SINGLE	N/A	1200	OAS3

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
ENTIRE SITE	Surround	Ft	0.05	15.0	0.0	N/A	N/A
PARKING LOT & DRIVE	Surround	Ft	1.44	6.6	0.4	3.00	13.75



QUARRY VISTA / ELAN  
RESIDENTIAL DEVELOPMENT  
FITCHBURG, WISCONSIN


# SITE LIGHTING PLAN

DATE: APR. 15, 2015 SCALE: 1" = 30'-0" SHEET NUMBER: E1

Job Name  
Quarry Vista - current site

Bid Date  
Dec 10, 2014

Submittal Date  
Dec 10, 2014

Submitted by Enterprise Lighting, LTD.		Catalog Number: PFT11523P15	Type: <b>OA23</b>
 <b>Job Name:</b> Quarry Vista - current site		Notes:	

**DESCRIPTION**

The Lumark Tribute Pole/Fixture Combo features all you need for easy selection and installation for poles and fixtures. Including the quality, die-cast Tribute area luminaire and 8" arm complete with lamp, square straight steel pole and necessary anchorage. Available in single or dual fixture combinations.

The Tribute/Pole Combo is ideal for parking areas, access roadways and other general off street area/site lighting applications.

**SPECIFICATION FEATURES**

**Construction**  
Rugged one-piece die-cast aluminum housing and door frame finished in dark bronze polyester powder paint. One-piece silicone gasket protects the optical chamber from performance degrading contaminants. One (1) stainless spring latch and two (2) stainless steel hinges allow toolless opening and removal of door frame. U.L. Listed and CSA certified for wet locations.

**Reflector**  
Hydroformed anodized aluminum reflector offered in an adjustable Type I/III or a Type IV distribution. Optical modules are field rotatable in 90° increments and offered standard with medium or mogul-base lampholders.

**Electrical**  
Ballast and related electrical componentry are hard mounted to die-cast housing for optimal heat transfer and operating efficiency.

**Mounting**  
Extruded 8" aluminum arm features internal bolt guides for easy positioning of fixture during installation to pole.

**Finish**  
Housing and arm finished in a 5 stage premium TGIC bronze polyester powder coat paint.

**Pole**  
Shaft is one piece construction ASTM A500 grade "B" steel, shot blasted and finished in dark bronze polyester powder coat. Anchor base is fabricated from ASTM grade steel. ASTM A368 steel full base cover is provided to enclose base plate and anchor bolts. Anchor bolts are per ASTM A576 with (2) nuts, (2) flat washers, and (1) lock washer. Hardware and threaded portion of bolt are hot dip galvanized, 3" hook for 3/4" bolt, 4" hook for 1" bolt.

Catalog #	Type
Project	
Comments	Date
Prepared by	

**LAMP TYPE**

LAMP TYPE	WATTAGE
Pulse Start Metal Halide (PSH)	150, 350, 330, 400W
High Pressure Sodium (HPS)	150, 350, 400W

**PFT TRIBUTE AND POLE COMBO**

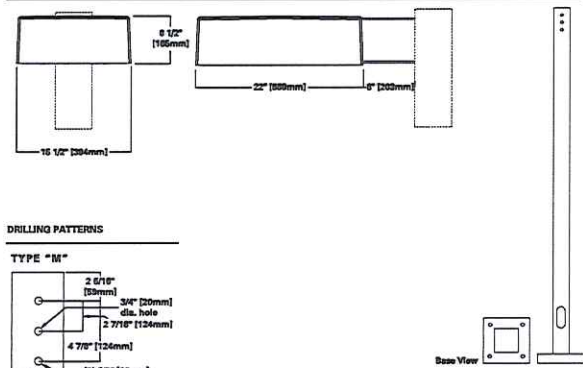
150 - 400 W  
High Pressure Sodium  
Pulse Start Metal Halide

15' - 30'  
Square Straight  
Steel Pole

POLE AND FIXTURE COMBO

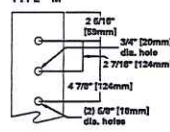
  

**DIMENSIONS**



**DRILLING PATTERNS**

TYPE "M"



**TECHNICAL DATA (Fixture)**

U.L. Wet Location Listed  
CSA Certified  
EISA Compliant ①

**ENERGY DATA**

10-Resistance Ballast Input Watts  
150W HPS HPF (150 Watts)  
150W MP HPF (150 Watts)

CWA Ballast Input Watts  
250W MP HPF (230 Watts) ①  
350W HPS HPF (335 Watts)  
350W MP HPF (335 Watts) ②  
400W MP HPF (452 Watts) ③  
400W HPS HPF (455 Watts)

**EPA**

Effective Projected Area: (Sq. Ft.)  
Single: 1.62  
Dual: 3.24

**SHIPPING DATA**

Approximate Net Weight:  
39 lbs. (1773 kgs.)

**COOPER Lighting**  
www.cooperlighting.com

Specifications and Dimensions subject to change without notice.  
Consult your representative for additional options and details.

AD4082310  
10/14/2009 12:33:23 PM

Submitted by Enterprise Lighting, LTD.

**Job Name:** Quarry Vista - current site

**Catalog Number:** PFT11523P15

**Type:** OA23

**Notes:**

**ORDERING INFORMATION**

Sample Number: PFT11523P15/AB

**Series:** PFT-Tribute Pole Combo

**Number of Fixtures:** 1=1, 2=2

**Lamp Wattage:** 150W, 250W, 320W, 400W

**Distribution:** 23° Type III, 25° Type III, 30° Type III

**Lamp Type:** P-Pulse Start Metal Halide

**Pole Height:** 15' 15', 20' 20', 25' 25', 30' 30'

**Zone:** 0-90 MPH Wind Zone, 0-100 MPH Wind Zone

**Options:** NAB-No Anchor Bolt (Used when ordered separately)

**Notes:**

- 1 8 inch arm and pole adapter included with tribune lamp. Included with all PFT configurations.
- 2 NAB models available by specifying NAB (IE: PFT11523P15NAB).
- 3 Note: Supplied with Multi-Tap ballast 120/208/240/277 (wired 277V) with square straight steel shaft, anchor bolts, templates, base cover and hardware.

**Lamp Series/Number of Fixtures**

**High Pressure Sodium (HPS)**

**Single Fixture**

Pole Height	Wattage	Distribution	80 MPH	90 MPH	100 MPH
15' Pole	150W HPS	Type III	PFT11523H15*	PFT11523H15*	PFT11523H15*
20' Pole	250W HPS	Type III	PFT11523H20*	PFT11523H20*	PFT11523H20*
25' Pole	320W HPS	Type III	PFT11523H25*	PFT11523H25*	PFT11523H25*
30' Pole	400W HPS	Type III	PFT11523H30*	PFT11523H30*	PFT11523H30*

**Dual Fixture**

Pole Height	Wattage	Distribution	80 MPH	90 MPH	100 MPH
15' Pole	150W HPS	Type III	PFT11523H15*	PFT11523H15*	PFT11523H15*
20' Pole	250W HPS	Type III	PFT11523H20*	PFT11523H20*	PFT11523H20*
25' Pole	320W HPS	Type III	PFT11523H25*	PFT11523H25*	PFT11523H25*
30' Pole	400W HPS	Type III	PFT11523H30*	PFT11523H30*	PFT11523H30*

**Pulse Start Metal Halide (PSMH)**

**Single Fixture**

Pole Height	Wattage	Distribution	80 MPH	90 MPH	100 MPH
15' Pole	150W PSMH	Type III	PFT11523P15*	PFT11523P15*	PFT11523P15*
20' Pole	250W PSMH	Type III	PFT11523P20*	PFT11523P20*	PFT11523P20*
25' Pole	320W PSMH	Type III	PFT11523P25*	PFT11523P25*	PFT11523P25*
30' Pole	400W PSMH	Type III	PFT11523P30*	PFT11523P30*	PFT11523P30*

**Dual Fixture**

Pole Height	Wattage	Distribution	80 MPH	90 MPH	100 MPH
15' Pole	150W PSMH	Type III	PFT11523P15*	PFT11523P15*	PFT11523P15*
20' Pole	250W PSMH	Type III	PFT11523P20*	PFT11523P20*	PFT11523P20*
25' Pole	320W PSMH	Type III	PFT11523P25*	PFT11523P25*	PFT11523P25*
30' Pole	400W PSMH	Type III	PFT11523P30*	PFT11523P30*	PFT11523P30*

**NOTES:**

- 1 0 or 9 are noted where needed to designate a heavier gauge pole.
- 2 Supplied with 4A Square Straight Steel shaft (SSS), anchor bolts (AB), templates (TMP) Hardware and base cover. 15' models SS54A15P15A, 20' models SS54A20P15A and 25' models SS54A25P15A.
- 3 Supplied with 5A Square Straight Steel shaft (SSS), anchor bolts (AB), templates (TMP) Hardware and base cover. 20' models SS55A20P15A and 25' models SS55A25P15A.
- 4 Supplied with 5B Square Straight Steel shaft (SSS), anchor bolts (AB), templates (TMP) Hardware and base cover. 20' models SS56A20P15A and 25' models SS56A25P15A.
- 5 Supplied with 6B Square Straight Steel shaft (SSS), anchor bolts (AB), templates (TMP) Hardware and base cover. 20' models SS57A20P15A and 25' models SS57A25P15A.

**COOPER Lighting**

www.cooperlighting.com

Lumark - Customer First Center - 1121 Highway 74 South - Peachtree City, GA 30092 • TEL: 770.486.4800 • FAX: 770.486.4801

ADH082319 10/14/2009 12:33:28 PM

Submitted by Enterprise Lighting, LTD.

**Job Name:** Quarry Vista - current site

**Catalog Number:** PFT11523P15

**Type:** OA23

**Notes:**

**PHOTOMETRICS** (Complete IES files available at [www.cooperlighting.com](http://www.cooperlighting.com))

**Footcandle Table**

Select mounting height and read across for footcandle values of each luminaire line. Distance in units of mounting height.

Mounting Height	Footcandle Values for
20'	2.00 1.50 0.75 0.30 0.15
25'	2.00 1.50 0.75 0.30 0.15
30'	1.30 1.00 0.50 0.20 0.10

**PFT11523P15** 250-Watt MP 22,000-Lumen Clear Lamp Type II Formed

**PFT11523P25** 320-Watt MP 30,000-Lumen Clear Lamp Type III Formed

**PFT11523P30** 400-Watt MP 40,000-Lumen Clear Lamp Type IV Formed

**COOPER Lighting**

www.cooperlighting.com

Specifications and Dimensions subject to change without notice.

Lumark - Customer First Center - 1121 Highway 74 South - Peachtree City, GA 30092 • TEL: 770.486.4800 • FAX: 770.486.4801

ADH082319 10/14/2009 12:33:28 PM

Submitted by Enterprise Lighting, LTD.	Catalog Number: XTOR3A	Type: OB3
Job Name: Quarry Vista - current site	Notes:	

**DESCRIPTION**

The patent pending Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks.

**SPECIFICATION FEATURES**

**Construction**  
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and large design. The small housing is available in 10W and 20W. The large housing is available in the 30W model. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three (3) half-inch, NPT threaded conduit entry points. The universal back box supports both the small and large forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

**Optical**  
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Solid state LED Crosstour luminaires are thermally optimized with five (5) lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).


**Electrical**  
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 10W models operate in -40°C to 40°C (-40°F to 104°F). 20W and 30W models operate in -30°C to 40°C (-22°F to 104°F). High ambient 50°C models available. Crosstour luminaires maintain greater than 70% of initial light output after 72,000 hours of operation. Three (3) half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

**Finish**  
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed fins.

**Warranty**  
Five-year limited warranty.

**LUMARK®**

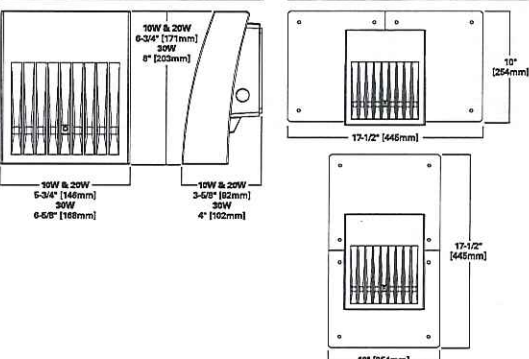
Catalog #	Type
Project	
Comments	Date
Prepared by	



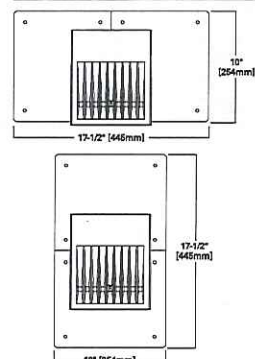
**XTOR CROSSTOUR LED**

APPLICATIONS:  
WALL / SURFACE  
POST / BOLLARD  
LOW LEVEL  
FLOODLIGHT  
INVERTED  
SITE LIGHTING

**DIMENSIONS**



**ESCUTCHEON PLATES**



**CERTIFICATION DATA**  
UL Listed Wet Location Listed  
LM79 / LM80 Compliant  
RoHS Compliant  
ARRA Compliant  
ADA Compliant  
NEMA Compliant Models  
IP68 Ingress Protection Rated  
Lighting Facts® Registered  
DesignLights Consortium® Qualified\*  
Title 24 Compliant

**TECHNICAL DATA**  
40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum

**EPA**  
Effective Projected Area:  
(Sq. Ft.)  
XTOR1A/XTOR2A=0.34  
XTOR3A=0.45

**SHIPPING DATA:**  
Approximate Net Weight:  
3.7 - 5.25 lbs. (1.7 - 2.4 kgs.)

Cooper Lighting  
by **E.T.C.**

ADH111091  
2013-09-27 13:51:17

\*www.designlights.org

Submitted by Enterprise Lighting, LTD.	Catalog Number: XTOR3A	Type: OB3
Job Name: Quarry Vista - current site	Notes:	

**LUMEN MAINTENANCE**

Ambient Temperature	TM-21 Lumen Maintenance (72,000 Hours)	Theoretical L70 (Hours)
25°C	> 91%	> 350,000
40°C	> 91%	> 340,000
50°C	> 91%	> 330,000

**20W Model**

25°C	> 91%	> 340,000
40°C	> 90%	> 320,000
50°C	> 90%	> 300,000

**30W Model**

25°C	> 91%	> 340,000
40°C	> 91%	> 320,000
50°C	> 90%	> 300,000

**LUMENS - CRI/CCT TABLE**

LED Information	XTOR1A	XTOR2A	XTOR2A-N	XTOR3A	XTOR3A-N
Delivered Lumens (Wall Mount)	734	1432	1323	2649	2273
Delivered Lumens (With Flood Accessory Kit)	713	1424	1315	2614	2243
B.U.G. Rating*	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0	B1-U0-G0
CCT (Kelvin)	5000	5000	3500	5000	3500
CRi (Color Rendering Index)	67	65	65	65	65
Power Consumption (Watts)	8W	21W	21W	30W	30W

\* B.U.G. Rating does not apply to floodlighting.

**CURRENT DRAW**

Voltage	10W	20W	30W
120V	0.05A	0.21A	0.29A
208V	0.04A	0.13A	0.18A
240V	0.04A	0.12A	0.16A
277V	0.03A	0.10A	0.14A
347V	0.03A	0.08A	0.11A

**ORDERING INFORMATION**

Series	LED Kelvin Color*	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1A=Small Door, 10W	[Blank]=Bright White (Standard) 5000K	[Blank]=Carbon Bronze (Standard)	347V=347V*	WG/XTOR=Wire Guard *
XTOR2A=Small Door, 20W	N=Neutral Warm White, 3500K	WT=Summit White	PC1=Photocontrol 120V *	XTORFLD=XTOR=Knuckle Floodlight Kit *
XTOR3A=Small Door, 30W			PC2=Photocontrol 208-277V **	XTORFLD=TRN=Trunnion Floodlight Kit *
			HA=50 C High Ambient *	XTORFLD=TRN=WT=Trunnion Floodlight Kit, White *

NOTES: 1 DesignLights Consortium® Qualified. Refer to www.designlights.org. Qualified Products List under Family Models for details. 2 XTOR1A not available in 3500K. 3 Photocontrols are factory installed. 4 Order PC2 for 347V models. 5 Thru-branch wiring not available with HA option or with 347V. 6 Wire guard for wall/surface mount. Not for use with floodlight kit accessory. 7 Floodlight kit accessory supplied with knuckle (DNC) or trunnion (TRN) base, small and large top views and small and large impact shields.

**STOCK ORDERING INFORMATION**

10W Series	20W Series	30W Series
XTOR1A=10W, 5000K, Carbon Bronze	XTOR2A=20W, 5000K, Carbon Bronze	XTOR3A=30W, 5000K, Carbon Bronze
XTOR1A=10W, 5000K, Summit White	XTOR2A=N=20W, 3500K, Carbon Bronze	XTOR3A=N=30W, 3500K, Carbon Bronze
XTOR1A=PC1=10W, 5000K, 120V PC, Carbon Bronze	XTOR2A=WT=20W, Summit White	XTOR3A=WT=30W, Summit White
	XTOR2A=PC1=20W, 120V PC, Carbon Bronze	XTOR3A=PC1=30W, 120V PC, Carbon Bronze

**5-DAY QUICK SHIP ORDERING INFORMATION**

10W Series	20W Series	30W Series
XTOR1A-WT=10W, 5000K, Summit White, 120V PC	XTOR2A=PC2=20W, 5000K, 208-277V PC, Carbon Bronze	XTOR3A=PC2=30W, 5000K, 208-277V PC, Carbon Bronze
	XTOR2A-WT=20W, 5000K, Summit White, 120V PC	XTOR3A-WT=30W, 5000K, Summit White, 120V PC
	XTOR2A-WT=20W, 5000K, Summit White, 208-277V PC	XTOR3A-WT=30W, 5000K, Summit White, 208-277V PC
	XTOR2A-N=20W, 3500K, Summit White	XTOR3A-N=30W, 3500K, Summit White
	XTOR2A-N=PC1=20W, 3500K, 120V PC, Carbon Bronze	XTOR3A-N=PC1=30W, 3500K, 120V PC, Carbon Bronze
	XTOR2A-N=PC2=20W, 3500K, 208-277V PC, Carbon Bronze	XTOR3A-N=PC2=30W, 3500K, 208-277V PC, Carbon Bronze
	XTOR2A-N-WT=PC1=20W, 3500K, Summit White, 120V PC	XTOR3A-N-WT=PC1=30W, 3500K, Summit White, 120V PC
	XTOR2A-N-WT=PC2=20W, 3500K, Summit White, 208-277V PC	XTOR3A-N-WT=PC2=30W, 3500K, Summit White, 208-277V PC

Cooper Lighting  
by **E.T.C.**

ADH111091  
2013-09-27 13:51:17

\*www.designlights.org

Submitted by Enterprise Lighting, LTD.	<b>Job Name:</b> Quarry Vista - current site	<b>Catalog Number:</b> 303-B1-LEDB2-4000-UNV-T2-DIMELV-BZ-36	<b>Type:</b> OC
Notes:			

#### DESCRIPTION

Eon 303 - B1 and 303 - B2 are compact, low profile, dimmable, LED bollards that provide downlight only via a fixed head. 303 - B1 has a single head on one side of the luminaire and 303 - B2 has two. Integrated heads coming off opposite sides of the luminaire. 303 - B1 and 303 - B2 come standard with universal input LED drivers (120 - 277V, 50/60 Hz). Dimming is achieved with a standard ELV, reverse phase dimming driver. Eon fixtures may be used indoors or outdoors and carry an IP66 rating. Our patented LumiLevel™ leveling system provides quick installation, easy adjustment, secure mounting and protection from vibration.

#### SPECIFICATION FEATURES

##### A ... Material

Head is precision-machined from corrosion-resistant 6061-T6 aluminum. Body is extruded aluminum and mounting base is cast from corrosion resistant silicone aluminum alloy.

##### B ... Finish

Fixture and mounting base are double protected by a RoHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. Mounting base is painted black. Fixture housing and head are available in a variety of standard colors. In addition to the standard five colors offered by Lumiere, the Eon bollards are also available in colors to match other outdoor Cooper brands, such as InVue. See the Finish section in the ordering detail for more information.

##### C ... Lens

Clear, tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock. EDGE LT option: when specified with the EDGE option, the glass will be slightly thicker, clear, tempered and sealed in the same manner referenced above. The added glass thickness will offer a brighter line of light around the edge of the glass that will accentuate the fixture's aesthetics and styling.

##### D ... Adjustable Mounting Base

Cast aluminum mounting base is equipped with the patented LumiLevel™ leveling system that includes mounting chassis, 70 shore neoprene base, stainless steel hardware and 3/4" conduit entry. It provides quick installation, easy adjustment, secure mounting and protection from vibration.

##### E ... Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

##### F ... Electrical

Both models come standard with universal input LED drivers (120-277, 50/60Hz). The standard driver is ELV reverse phase dimmable.

##### G ... LED

LEDs are included and available in three color temperatures (2700K, 3000K & 4000K) and a variety of optics. Both color temperature and distribution must be specified when ordering - see reverse side for details and catalog logic. 303 - B1 comes standard with two mini lightbars and 303 - B2 comes standard with four mini lightbars.

##### H ... Labels & Approvals

UL and cUL listed, standard wet label, IP66 rated.

##### I ... Warranty

Lumiere warrants its fixtures against defects in materials & workmanship for five (5) years. Auxiliary equipment such as transformers, ballasts and LED drivers carry the original manufacturer's warranty.

## lumière

Catalog #	Type
Project	
Comments	Date
Prepared by	



EON

303-B1 / 303-B2

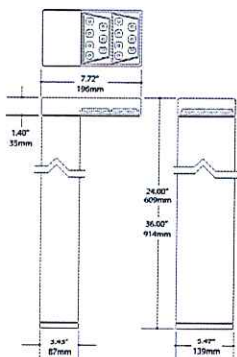
15.5W LED  
31W LED

LED

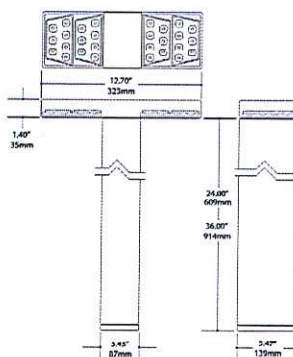
BOLLARD

IP66

303-B1



303-B2



COOPER Lighting  
www.cooperlighting.com

Specification and Dimensions subject to change without notice.

Contact your representative for additional options and features.

Submitted by Enterprise Lighting, LTD.	<b>Job Name:</b> Quarry Vista - current site	<b>Catalog Number:</b> 303-B1-LEDB2-4000-UNV-T2-DIMELV-BZ-36	<b>Type:</b> OC
Notes:			

#### LED INFORMATION

LED	Watts	Distribution	Total Lumens	CRI	%	Life (hrs.)	Volts
LED82 - 2700 - T2	15.5	Type II - Lateral Throw	725	95	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LED82 - 2700 - T4	15.5	Type IV - Forward Throw	709	85	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LED82 - 2700 - TSX	15.5	Type V - Flood	626	65	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LED82 - 3000 - T2	15.5	Type II - Lateral Throw		95	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LED82 - 3000 - T4	15.5	Type IV - Forward Throw		85	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LED82 - 3000 - TSX	15.5	Type V - Flood		65	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LED82 - 4000 - T2	15.5	Type II - Lateral Throw	1209	95	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LED82 - 4000 - T4	15.5	Type IV - Forward Throw	1181	85	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LED82 - 4000 - TSX	15.5	Type V - Flood	1044	65	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LED84 - 2700 - T2	31	Type II - Lateral Throw	1436	95	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LED84 - 2700 - T4	31	Type IV - Forward Throw	1410	85	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LED84 - 2700 - TSX	31	Type V - Flood	1247	65	2700	50000	Universal Input (120 - 277V, 50/60Hz)
LED84 - 3000 - T2	31	Type II - Lateral Throw		95	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LED84 - 3000 - T4	31	Type IV - Forward Throw		85	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LED84 - 3000 - TSX	31	Type V - Flood		65	3000	50000	Universal Input (120 - 277V, 50/60Hz)
LED84 - 4000 - T2	31	Type II - Lateral Throw	2393	95	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LED84 - 4000 - T4	31	Type IV - Forward Throw	2350	85	4000	50000	Universal Input (120 - 277V, 50/60Hz)
LED84 - 4000 - TSX	31	Type V - Flood	2078	65	4000	50000	Universal Input (120 - 277V, 50/60Hz)

#### NOTES AND FORMULAS

- Apply appropriate light loss factors where necessary.
- Photometry is LM-79 compliant.

#### ORDERING INFORMATION

Sample Number: 303 - B1 - LEDB1 - 3000 - UNV - T2 - BZ

<b>Series</b> 303-B1 = LED single head bollard 303-B2 = LED dual head bollard	<b>Color Temperature</b> 2700 = 2700K 3000 = 3000K 4000 = 4000K	<b>Optics</b> T2 = Type II, Lateral Throw T4 = Type IV, Forward Throw TSX = Type V, Extra Wide Flood Consult factory for other optics	<b>Finish</b> Painted BK = Black BZ = Bronze CR = Chrome VZ = Verde WT = White AP = Gray (InVue) DP = Dark Platinum (InVue) GM = Graphite Metallic (InVue)	<b>Height</b> 24 = 24" Height 36 = 36" Height	<b>Options</b> EDGE = Edgellit Clear Tempered Glass Lens
<b>Quantity of Mini Lightbars</b> LEDB2 = Light Emitting Diode, Rev B, Two Mini Lightbar (B1 only) LEDB4 = Light Emitting Diode, Rev B, Four Mini Lightbars (B2 only)	<b>Input Voltage</b> UNV = Universal 120 - 277V, 50/60Hz	<b>Dimming</b> DIMELV = Trailing Edge Phase Dimming Driver			

COOPER Lighting  
www.cooperlighting.com

Specification and Dimensions subject to change without notice.

Contact your representative for additional options and features.

MASTERPLAN DATA											
BLDG	UNITS							PARKING			
	ST	1BR	1BR+	2BR	2BR+	TOTAL	BR'S	COVERED	SURFACE	TOTAL	RATIO
A1	3	15	9	14	3	44	58	44	26	70	1.59/UNIT
B1	3	17	13	16	3	52	68	52	32	84	1.62/UNIT
B2	4	19	15	15	3	56	70	53	31	84	1.50/UNIT
T.	10	51	37	45	9	152	196	149	89	238	1.57/UNIT
	6%	34%	24%	30%	6%						1.21/BR

#### PARKING NOTES:

COVERED VEHICULAR & BICYCLE PARKING COUNTS ARE MINIMUM. SURFACE PARKING COUNTS ARE MAXIMUM. COVERED BICYCLE PARKING SHALL BE PROVIDED IN THE LOWER LEVEL BY INDIVIDUAL STORAGE LOCKERS OR WALL/CEILING HOOKS ABOVE AUTOMOBILE SPACES.

#### LANDSCAPING NOTES:

ALL LANDSCAPING ELEMENTS SHOWN ON THIS MASTERPLAN ARE CONCEPTUAL ONLY. SEE LANDSCAPE PLANS FOR INFORMATION AND DETAILS REGARDING THE ACTUAL LANDSCAPING FOR THIS PROJECT.

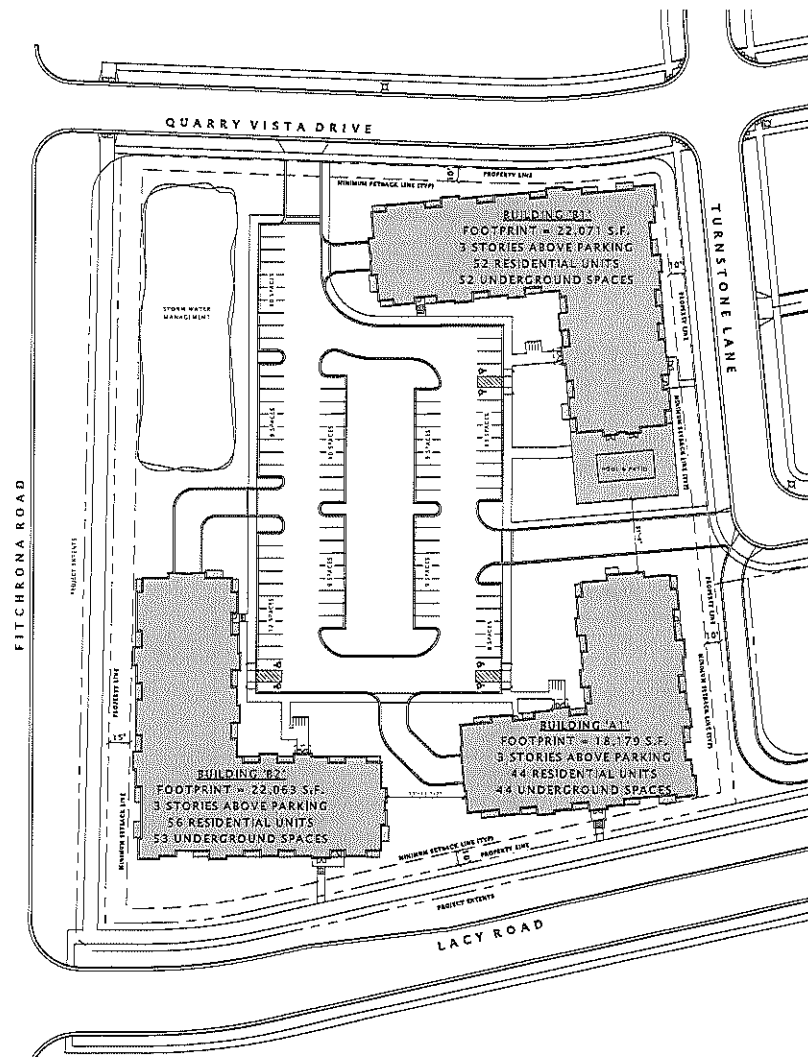
#### EXTERIOR SITE LIGHTING:

ALL EXTERIOR LIGHTING SHALL BE ESTABLISHED, DIRECTED, AND MAINTAINED SO AS NOT TO BE CAST DIRECTLY ON PUBLIC RIGHTS-OF-WAY OR NEIGHBORING PROPERTIES--OR BE LIGHTED IN INTENSITY OR COLORS SERIOUSLY DISTURBING TO NEIGHBORING PROPERTIES (PER CITY OF FITCHBURG ZONING CODE SECTION 22-607 (B)10.)

#### SEE THE FOLLOWING SHEETS FOR ADDITIONAL SITE INFORMATION:

SHEET ASP101-A1 BUILDING 'A1'  
SHEET ASP101-B1 BUILDING 'B1'  
SHEET ASP101-B2 BUILDING 'B2'

ZONING REQUIREMENT	DESIGN VALUE	CALCULATIONS
SITE DENSITY	31.40 Units/Acre	152 Units / 4.84 AC = 31.40
BUILDING COVERAGE	29.6% of Parcel	62,321 S.F. / 210,871 S.F. = 29.6%
FLOOR AREA RATIO	83.4% of Parcel	375,887 S.F. / 210,871 S.F. = 83.4%
IMPERVIOUS SURFACE	57.1% of Parcel	120,359 S.F. / 210,871 S.F. = 57.1%
LANDSCAPE AREA	42.9% of Parcel	90,521 S.F. / 210,871 S.F. = 42.9%



ARCHITECTURAL SITE PLAN  
1" = 40'-0"

**JLA**  
JANNEY LEE & ASSOCIATES  
ARCHITECTS

JANNEY LEE & ASSOCIATES  
ARCHITECTS  
1000 W. MAIN ST., SUITE 200  
FITCHBURG, MA 01525  
TEL: 508.251.5075  
FAX: 508.251.5076

**Fiduciary**  
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

#### SPECIFIC IMPLEMENTATION PLAN

**ELAN**  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

#### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

NO. DATE DESCRIPTION

SHEET TITLE

ARCHITECTURAL SITE  
PLAN - OVERALL

SHEET NUMBER

ASP100



ELAN RESIDENTIAL DEVELOPMENT  
Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN

BUILDING: A1

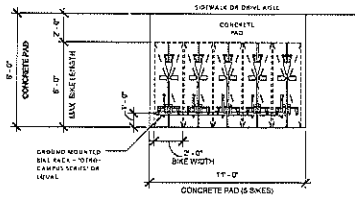
PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

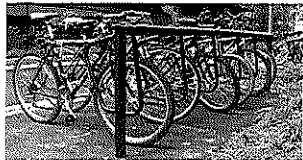


JLA PROJECT NUMBER: 14-0515

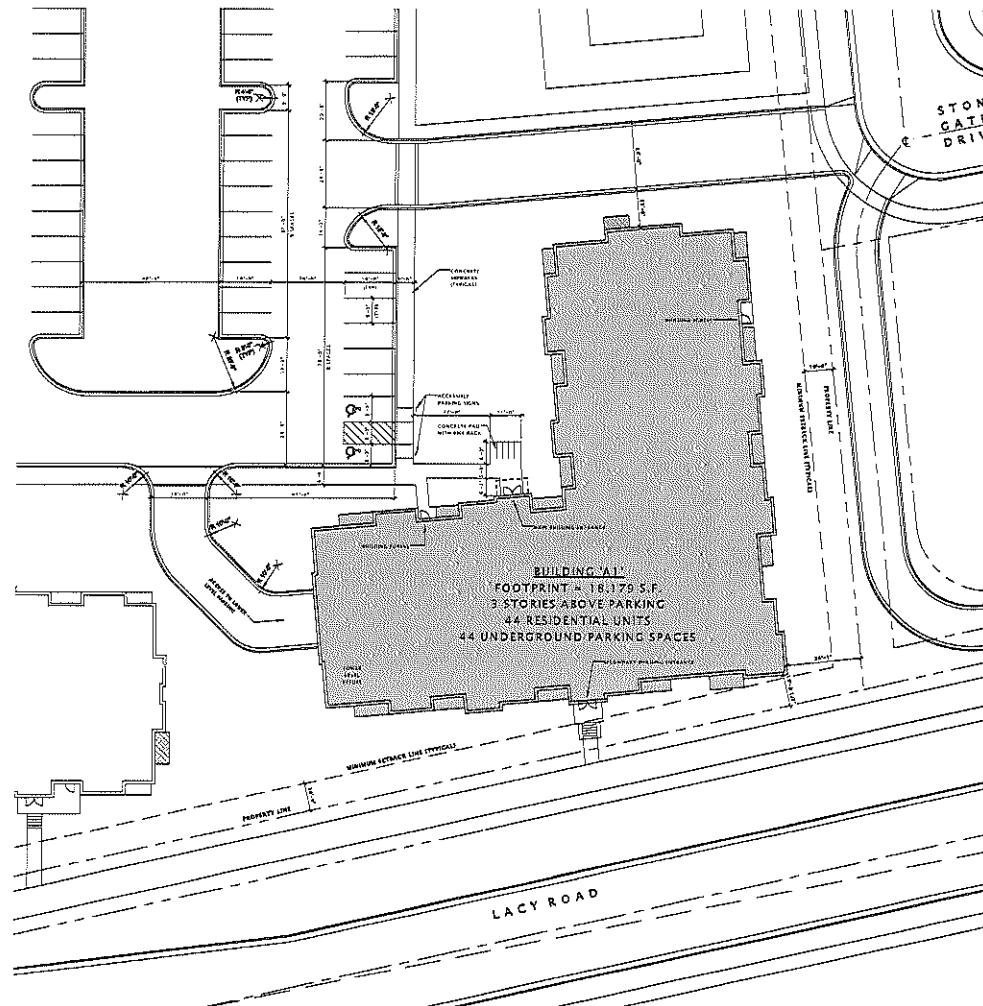
APRIL 21, 2015



○ EXTERIOR BIKE PARKING  
1/4" = 1'-0"



○ EXTERIOR BIKE RACK STYLE  
1/8" = 1'-0"



18 ARCHITECTURAL SITE PLAN - 'A1' BLDG  
1" = 20'-0"

**JLA**  
ARCHITECTS

JENNIFER L. JLA ASSOCIATES  
2000 LACY ROAD, SUITE 200  
LACY, TEXAS 75043-1000  
TEL: 972.241.1000  
FAX: 972.241.1001  
WWW.JLA-ARCHITECTS.COM

**Fiduciary**  
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

**ELAN**  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and status and may  
not represent the final design. These documents are  
not for construction and are not to be used for  
construction or construction-related purposes.

DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE

Mark Description Date

SHEET TITLE

ARCHITECTURAL SITE  
PLAN - BUILDING 'A1'

SHEET NUMBER

ASP101-A1

# JLA

INTERIOR ARCHITECTS  
415 AND 420 WEST 14TH STREET  
NEW YORK, NEW YORK 10011  
(212) 691-1000

14-000000-0000



FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

**ELAN**  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

PROGRESS DOCUMENTS

These documents, when combined with the other documents in this set, shall constitute the entire contract between the parties. They are not to be construed as a contract, and shall not be used for legal purposes or as evidence in any legal proceeding.

DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE

Work Description Date

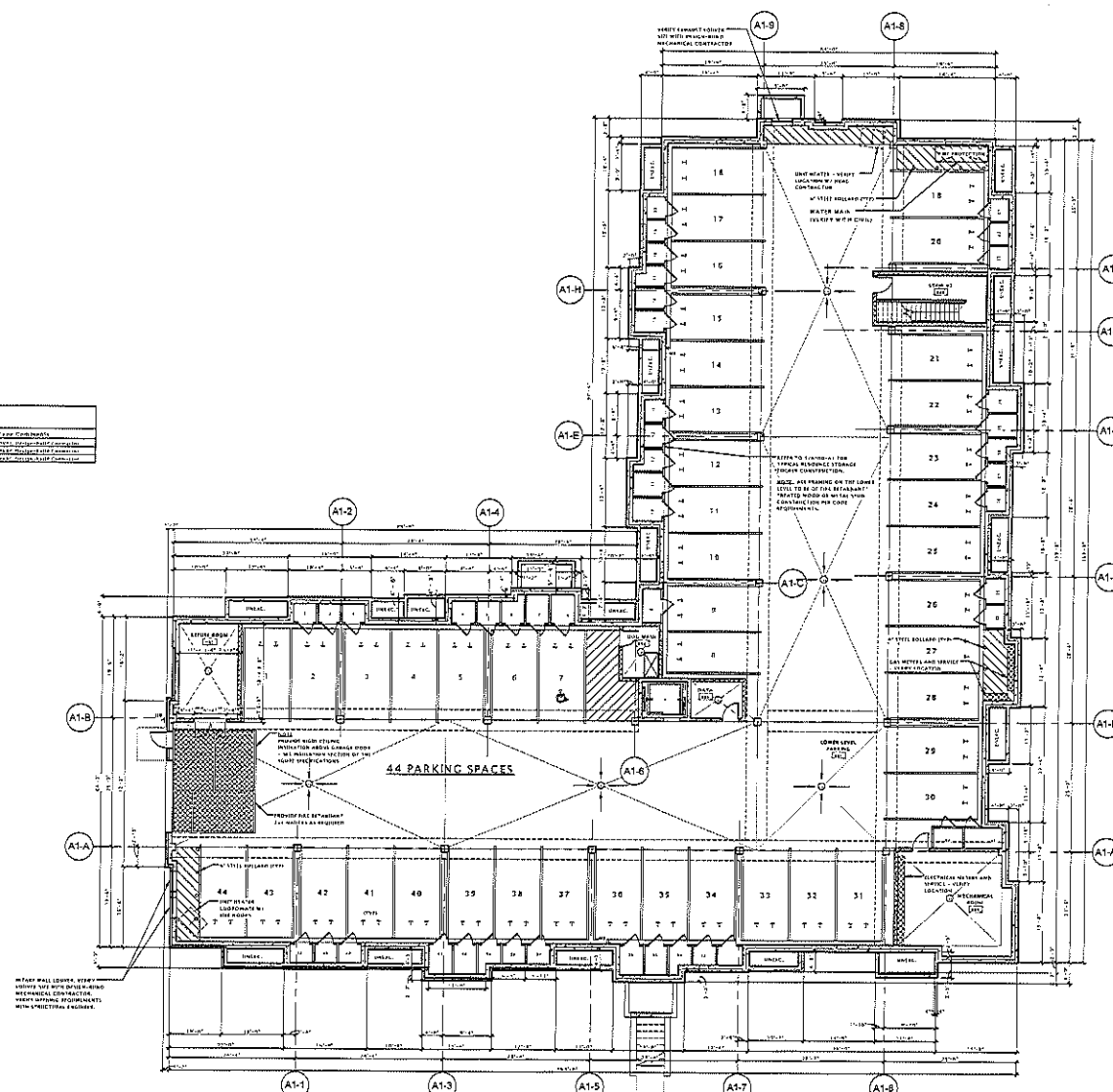
SHEET TITLE

BUILDING 'A1' - LOWER LEVEL PLAN

SHEET NUMBER

A100-A1

LOUVER SCHEDULE						
Mark	Notes	Accessories	Manufacturer	Model	Finish	Size (H x W)
1	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
2	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
3	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
4	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
5	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
6	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
7	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
8	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
9	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
10	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
11	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
12	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
13	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
14	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
15	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
16	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
17	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
18	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
19	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
20	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
21	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
22	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
23	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
24	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
25	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
26	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
27	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
28	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
29	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
30	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
31	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
32	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
33	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
34	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
35	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
36	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
37	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
38	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
39	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
40	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
41	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
42	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
43	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"
44	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"	1/2" x 1/2" x 1/2"



17 BUILDING 'A1' - LOWER LEVEL PLAN  
3/28" = 1'-0"

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.



A102-A1

WINDOW SCHEDULE									
Mark	Width	Height	Description	Manufacturer	Material	Window Frame Color	Window Glass	Window Glass	Notes
W1	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	Low E	See Notes
W2	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	Low E	See Notes
W3	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	Low E	See Notes
W4	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	Low E	See Notes
W5	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	Low E	See Notes
W6	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	Low E	See Notes
W7	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	Low E	See Notes
W8	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	Low E	See Notes
W9	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	Low E	See Notes
W10	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	Low E	See Notes

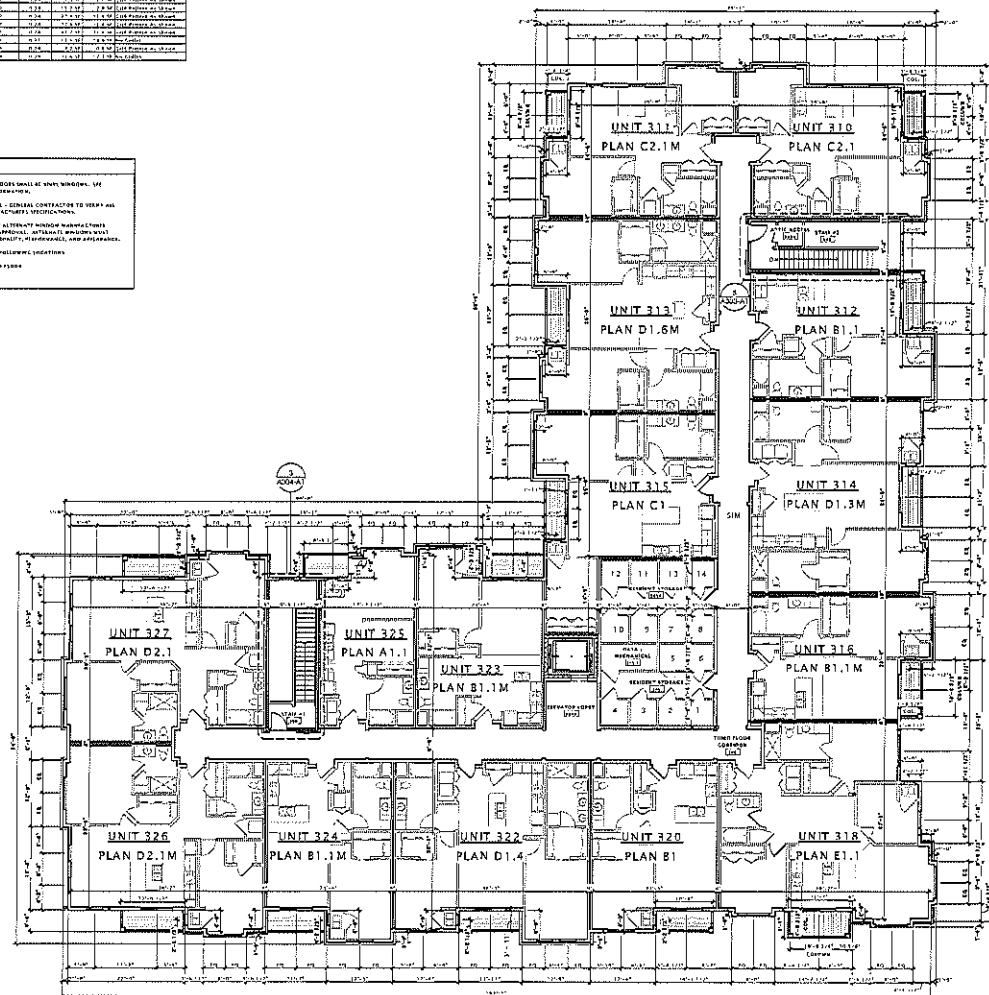
LOUVER SCHEDULE									
Mark	Width	Height	Description	Manufacturer	Material	Louver Color	Louver Material	Louver Operation	Notes
L1	3'-0"	4'-0"	Single Hung Louver	Woods	Wood	White	Aluminum	Manual	See Notes
L2	3'-0"	4'-0"	Single Hung Louver	Woods	Wood	White	Aluminum	Manual	See Notes
L3	3'-0"	4'-0"	Single Hung Louver	Woods	Wood	White	Aluminum	Manual	See Notes
L4	3'-0"	4'-0"	Single Hung Louver	Woods	Wood	White	Aluminum	Manual	See Notes
L5	3'-0"	4'-0"	Single Hung Louver	Woods	Wood	White	Aluminum	Manual	See Notes

BUILDING 'A1' - THIRD FLOOR UNIT SCHEDULE									
Unit	Mark	Width	Height	Description	Manufacturer	Material	Window Frame Color	Window Glass	Notes
301	W1	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
302	W2	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
303	W3	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
304	W4	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
305	W5	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
306	W6	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
307	W7	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
308	W8	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
309	W9	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
310	W10	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes

ENCASED UNIT SHEET LISTING									
Sheet	Unit	Width	Height	Description	Manufacturer	Material	Window Frame Color	Window Glass	Notes
A101	W1	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
A102	W2	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
A103	W3	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
A104	W4	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
A105	W5	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
A106	W6	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
A107	W7	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
A108	W8	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
A109	W9	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes
A110	W10	3'-0"	4'-0"	Single Hung Window	Woods	Wood	White	Double	See Notes

WINDOW NOTES:

- ALL WINDOWS AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- CONTRACTOR SHALL VERIFY ALL WINDOW SCHEDULES WITH OWNER AND ARCHITECT BEFORE PROCEEDING WITH INSTALLATION. ANY CHANGES SHALL BE APPROVED BY ARCHITECT AND OWNER.
- WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.



17 BUILDING 'A1' - THIRD FLOOR PLAN  
3/32" = 1'-0"

SCALE: BUILDING TO BE FULLY SPECIFIED BY  
UNIT NO. 101 IS ADAPTED FROM

**JLA**

JOSEPH L. J. ASSOCIATES  
ARCHITECTS & PLANNERS, INC.

JLA PROJECT NUMBER 14-011

**Fiduciary**  
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

**ELAN**  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and intent and may  
be subject to change, including additional detail. These  
are not final construction documents and shall not be  
used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE

Rev.	Description	Date
1	Issued for Construction	04/21/15

SHEET TITLE

BUILDING 'A1' THIRD  
FLOOR PLAN

SHEET NUMBER

A103-A1

7) RIDGE SHALL BE ROOF ASSUMES WITHIN TWO (2) FEET OF THE TOP OF THE TRUSS/SILL. IT IS NOT TO BE INDICATED BY ROOF PLAN. SEE ROOF ASSUMES SHEET FOR DETAILED INFORMATION.

8) AT CATCH BASIN AREAS: PROVIDE TYPICAL INSULATION BOARD WHERE NECESSARY OVER ROOF SUBSTRATE TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO EXIST DRAINAGE SCUPPER DRAINING.

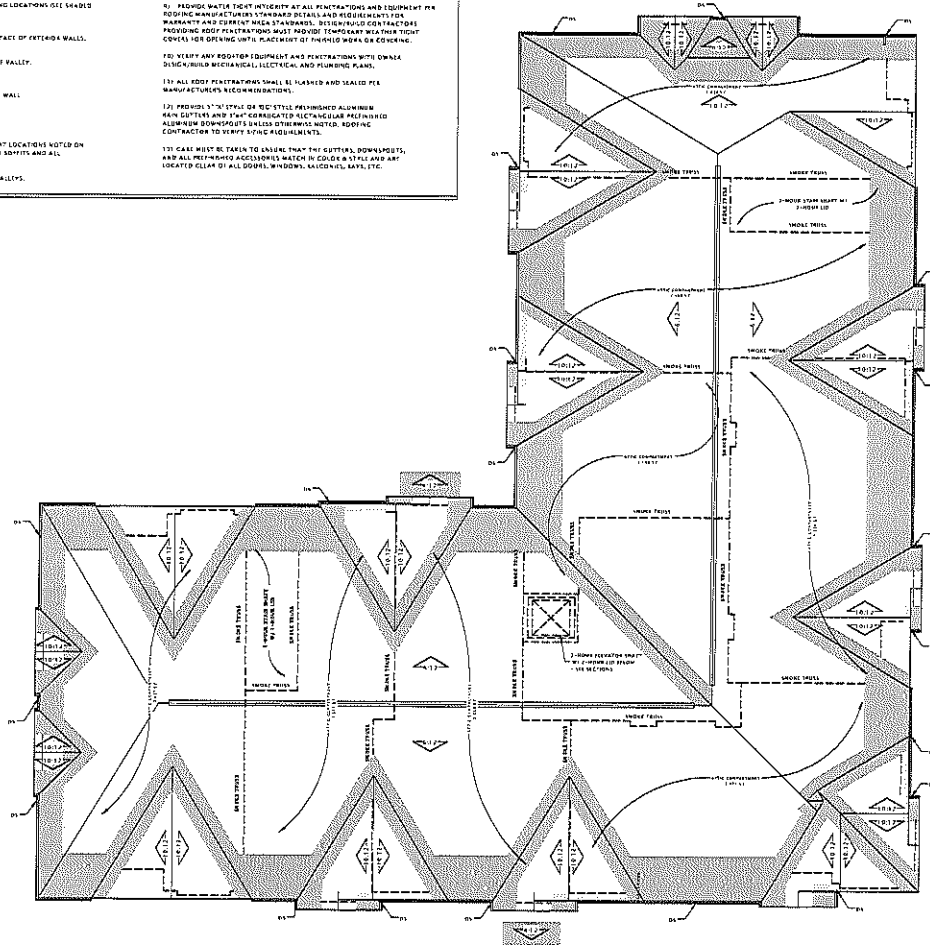
9) RIDGE DRAINS/SCUPPERS ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGN/MECHANICAL CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE IF A LARGEST DRAIN IS REQUIRED. SEE ROOF DRAINS AND SCAUPERS SHEET FOR DETAILED INFORMATION. PROVIDE ROOF DRAINAGE IN ACCORDANCE WITH ROOF DRAINAGE CONTRACTOR TO PROVIDE PROPER DRAINAGE.

10) RIDGE WITH SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE INLET AND LARGEST ROOF DRAINS TO PROVIDE 1/2" OF PITCH AREA FOR 100% OF ATTACHED AREA AT THE DEPARTMENTS. OWNERS DESIGN/MECHANICAL CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS SHOWING MAX VENTILATION PLAN PRIOR TO INSTALLATION.

11) DRYWALL SHALL BE AS SHOWN ON ROOF PLAN.

7. PROVIDE A CEMENT MORTAR AT THE FOLLOWING LOCATIONS (AS SHOWN IN THE ROOF PLAN):
- ALL RAFTERS**  
Run a 40M COOL OF CAVE TO 1-0" (MIN.) "AST FACE OF EXTENSIVE WALLS.
- ALL WALLS**  
4.0M HIGH WALL TO 1-0" (MIN.) EACH SIDE OF VALLEY.  
(INSTALL UNDER METAL FLASHINGS AT WALLS).
- ALL EXTERIOR INTERSECTIONS**  
MIN 1-0" (MIN.) HIGH FOOTING FROM "FACE OF WALL  
MIN 1-0" (MIN.) HIGH CAVITY OF FACE OF WALL.
- ALL SLOPE FINISHING**  
MIN 1-0" (MIN.) FROM POLE RAFTERS
7. PROVIDE CONTINUOUS "AST" DRAPED STOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAPED STOPPING SHALL BE FULLY INTO SOFFITS AND ALL FINISHINGS SHALL BE CAULKED.
8. PROVIDE "X" SHAPED METAL FLASHING AT ALL WALLS.

- 101 PROVIDE WATER TIGHT INTAKE AT ALL PENETRATIONS AND EQUIPMENT PER ROOFING MANUFACTURERS' STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND EXISTING NESHU STANDARDS. DESIGN/PRODUCE CONTRACTORS TO PROVIDE DETAILS FOR ALL ROOFING PENETRATIONS. PROVIDE THEIR TECH CODES FOR DRIVING INTO PLACEMENT OF FLASHING OR GASKETING.
- 120 VERIFY ANY ROOFING EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/PRODUCE CONTRACTORS, ELECTRICAL AND PLUMBING PLANS.
- 131 ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURERS' RECOMMENDATIONS.
- 141 PROVIDE 3" x 3" x 1/4" GALV STEEL PERHUNGLED ALUMINUM NAIL GUARDS AND 1" x 4" CORRUGATED ALUMINUM PERHUNGLED ALUMINUM DOWNSPOUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SIZING PLUMBING WATER.
- 151 CASE MUST BE TAKEN TO ENSURE NESHU THE GUARDS, DOWNSPOUTS, AND ALL PERHUNGLED ACCESSORIES MATCH IN COLOR AND STYLE AND LOCATED AT ALL ROOFING PENETRATIONS. PROVIDE SAVED NESHU DATA.



17 BUILDING 'A' - ROOF PLAN  
3/32" = 1'-0"

[illegible]

# JLA

LA FARMET NUMBER 14:0



FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

### SPECIFIC IMPLEMENTATION PLAN

ELAN  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

## PROGRESS DOCUMENTS

“താഴെ തിരക്കുവെക്കുന്നവർക്കു നൽകിയിട്ടുള്ള ക്ഷേമപദ്ധതികളിൽ 1975-76-ൽ നൽകിയ ക്ഷേമ പദ്ധതികളിലേക്കു 1976-77-ൽ, 1977-78-ൽ, 1978-79-ൽ, 1979-80-ൽ, 1980-81-ൽ, 1981-82-ൽ, 1982-83-ൽ, 1983-84-ൽ, 1984-85-ൽ, 1985-86-ൽ, 1986-87-ൽ, 1987-88-ൽ, 1988-89-ൽ, 1989-90-ൽ, 1990-91-ൽ, 1991-92-ൽ, 1992-93-ൽ, 1993-94-ൽ, 1994-95-ൽ, 1995-96-ൽ, 1996-97-ൽ, 1997-98-ൽ, 1998-99-ൽ, 1999-00-ൽ, 2000-01-ൽ, 2001-02-ൽ, 2002-03-ൽ, 2003-04-ൽ, 2004-05-ൽ, 2005-06-ൽ, 2006-07-ൽ, 2007-08-ൽ, 2008-09-ൽ, 2009-10-ൽ, 2010-11-ൽ, 2011-12-ൽ, 2012-13-ൽ, 2013-14-ൽ, 2014-15-ൽ, 2015-16-ൽ, 2016-17-ൽ, 2017-18-ൽ, 2018-19-ൽ, 2019-20-ൽ, 2020-21-ൽ, 2021-22-ൽ, 2022-23-ൽ, 2023-24-ൽ, 2024-25-ൽ, 2025-26-ൽ, 2026-27-ൽ, 2027-28-ൽ, 2028-29-ൽ, 2029-30-ൽ, 2030-31-ൽ, 2031-32-ൽ, 2032-33-ൽ, 2033-34-ൽ, 2034-35-ൽ, 2035-36-ൽ, 2036-37-ൽ, 2037-38-ൽ, 2038-39-ൽ, 2039-40-ൽ, 2040-41-ൽ, 2041-42-ൽ, 2042-43-ൽ, 2043-44-ൽ, 2044-45-ൽ, 2045-46-ൽ, 2046-47-ൽ, 2047-48-ൽ, 2048-49-ൽ, 2049-50-ൽ, 2050-51-ൽ, 2051-52-ൽ, 2052-53-ൽ, 2053-54-ൽ, 2054-55-ൽ, 2055-56-ൽ, 2056-57-ൽ, 2057-58-ൽ, 2058-59-ൽ, 2059-60-ൽ, 2060-61-ൽ, 2061-62-ൽ, 2062-63-ൽ, 2063-64-ൽ, 2064-65-ൽ, 2065-66-ൽ, 2066-67-ൽ, 2067-68-ൽ, 2068-69-ൽ, 2069-70-ൽ, 2070-71-ൽ, 2071-72-ൽ, 2072-73-ൽ, 2073-74-ൽ, 2074-75-ൽ, 2075-76-ൽ, 2076-77-ൽ, 2077-78-ൽ, 2078-79-ൽ, 2079-80-ൽ, 2080-81-ൽ, 2081-82-ൽ, 2082-83-ൽ, 2083-84-ൽ, 2084-85-ൽ, 2085-86-ൽ, 2086-87-ൽ, 2087-88-ൽ, 2088-89-ൽ, 2089-90-ൽ, 2090-91-ൽ, 2091-92-ൽ, 2092-93-ൽ, 2093-94-ൽ, 2094-95-ൽ, 2095-96-ൽ, 2096-97-ൽ, 2097-98-ൽ, 2098-99-ൽ, 2099-00-ൽ, 2100-01-ൽ, 2101-02-ൽ, 2102-03-ൽ, 2103-04-ൽ, 2104-05-ൽ, 2105-06-ൽ, 2106-07-ൽ, 2107-08-ൽ, 2108-09-ൽ, 2109-10-ൽ, 2110-11-ൽ, 2111-12-ൽ, 2112-13-ൽ, 2113-14-ൽ, 2114-15-ൽ, 2115-16-ൽ, 2116-17-ൽ, 2117-18-ൽ, 2118-19-ൽ, 2119-20-ൽ, 2120-21-ൽ, 2121-22-ൽ, 2122-23-ൽ, 2123-24-ൽ, 2124-25-ൽ, 2125-26-ൽ, 2126-27-ൽ, 2127-28-ൽ, 2128-29-ൽ, 2129-30-ൽ, 2130-31-ൽ, 2131-32-ൽ, 2132-33-ൽ, 2133-34-ൽ, 2134-35-ൽ, 2135-36-ൽ, 2136-37-ൽ, 2137-38-ൽ, 2138-39-ൽ, 2139-40-ൽ, 2140-41-ൽ, 2141-42-ൽ, 2142-43-ൽ, 2143-44-ൽ, 2144-45-ൽ, 2145-46-ൽ, 2146-47-ൽ, 2147-48-ൽ, 2148-49-ൽ, 2149-50-ൽ, 2150-51-ൽ, 2151-52-ൽ, 2152-53-ൽ, 2153-54-ൽ, 2154-55-ൽ, 2155-56-ൽ, 2156-57-ൽ, 2157-58-ൽ, 2158-59-ൽ, 2159-60-ൽ, 2160-61-ൽ, 2161-62-ൽ, 2162-63-ൽ, 2163-64-ൽ, 2164-65-ൽ, 2165-66-ൽ, 2166-67-ൽ, 2167-68-ൽ, 2168-69-ൽ, 2169-70-ൽ, 2170-71-ൽ, 2171-72-ൽ, 2172-73-ൽ, 2173-74-ൽ, 2174-75-ൽ, 2175-76-ൽ, 2176-77-ൽ, 2177-78-ൽ, 2178-79-ൽ, 2179-80-ൽ, 2180-81-ൽ, 2181-82-ൽ, 2182-83-ൽ, 2183-84-ൽ, 2184-85-ൽ, 2185-86-ൽ, 2186-87-ൽ, 2187-88-ൽ, 2188-89-ൽ, 2189-90-ൽ, 2190-91-ൽ, 2191-92-ൽ, 2192-93-ൽ, 2193-94-ൽ, 2194-95-ൽ, 2195-96-ൽ, 2196-97-ൽ, 2197-98-ൽ, 2198-99-ൽ, 2199-00-ൽ, 2200-01-ൽ, 2201-02-ൽ, 2202-03-ൽ, 2203-04-ൽ, 2204-05-ൽ, 2205-06-ൽ, 2206-07-ൽ, 2207-08-ൽ, 2208-09-ൽ, 2209-10-ൽ, 2210-11-ൽ, 2211-12-ൽ, 2212-13-ൽ, 2213-14-ൽ, 2214-15-ൽ, 2215-16-ൽ, 2216-17-ൽ, 2217-18-ൽ, 2218-19-ൽ, 2219-20-ൽ, 2220-21-ൽ, 2221-22-ൽ, 2222-23-ൽ, 2223-24-ൽ, 2224-25-ൽ, 2225-26-ൽ, 2226-27-ൽ, 2227-28-ൽ, 2228-29-ൽ, 2229-30-ൽ, 2230-31-ൽ, 2231-32-ൽ, 2232-33-ൽ, 2233-34-ൽ, 2234-35-ൽ, 2235-36-ൽ, 2236-37-ൽ, 2237-38-ൽ, 2238-39-ൽ, 2239-40-ൽ, 2240-41-ൽ, 2241-42-ൽ, 2242-43-ൽ, 2243-44-ൽ, 2244-45-ൽ, 2245-46-ൽ, 2246-47-ൽ, 2247-48-ൽ, 2248-49-ൽ, 2249-50-ൽ, 2250-51-ൽ, 2251-52-ൽ, 2252-53-ൽ, 2253-54-ൽ, 2254-55-ൽ, 2255-56-ൽ, 2256-57-ൽ, 2257-58-ൽ, 2258-59-ൽ, 2259-60-ൽ, 2260-61-ൽ, 2261-62-ൽ, 2262-63-ൽ, 2263-64-ൽ, 2264-65-ൽ, 2265-66-ൽ, 2266-67-ൽ, 2267-68-ൽ, 2268-69-ൽ, 2269-70-ൽ, 2270-71-ൽ, 2271-72-ൽ, 2272-73-ൽ, 2273-74-ൽ, 2274-75-ൽ, 2275-76-ൽ, 2276-77-ൽ, 2277-78-ൽ, 2278-79-ൽ, 2279-80-ൽ, 2280-81-ൽ, 2281-82-ൽ, 2282-83-ൽ, 2283-84-ൽ, 2284-85-ൽ, 2285-86-ൽ, 2286-87-ൽ, 2287-88-ൽ, 2288-89-ൽ, 2289-90-ൽ, 2290-91-ൽ, 2291-92-ൽ, 2292-93-ൽ, 2293-94-ൽ, 2294-95-ൽ, 2295-96-ൽ, 2296-97-ൽ, 2297-98-ൽ, 2298-99-ൽ, 2299-00-ൽ, 2300-01-ൽ, 2301-02-ൽ, 2302-03-ൽ, 2303-04-ൽ, 2304-05-ൽ, 2305-06-ൽ, 2306-07-ൽ, 2307-08-ൽ, 2308-09-ൽ, 2309-10-ൽ, 2310-11-ൽ, 2311-12-ൽ, 2312-13-ൽ, 2313-14-ൽ, 2314-15-ൽ, 2315-16-ൽ, 2316-17-ൽ, 2317-18-ൽ, 2318-19-ൽ, 2319-20-ൽ, 2320-21-ൽ, 2321-22-ൽ, 2322-23-ൽ, 2323-24-ൽ, 2324-25-ൽ, 2325-26-ൽ, 2326-27-ൽ, 2327-28-ൽ, 2328-29-ൽ, 2329-30-ൽ, 2330-31-ൽ, 2331-32-ൽ, 2332-33-ൽ, 2333-34-ൽ, 2334-35-ൽ, 2335-36-ൽ, 2336-37-ൽ, 2337-38-ൽ, 2338-39-ൽ, 2339-40-ൽ, 2340-41-ൽ, 2341-42-ൽ, 234

DATE OF ISSUANCE APR 21, 2015

### REVISION SCHEDULE

SHEET TITLE

BUILDING 'A1' ROOF  
PLAN

SHEET NUMBER

A109-A1



**JLA**  
JOSEPH LEE ASSOCIATES

JOSEPH LEE ASSOCIATES  
1405 PINEHURST DRIVE, SUITE 100  
DALLAS, TEXAS 75244  
(214) 343-1111

DLA PROJECT NUMBER: 14-0115



FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

**ELAN**  
APARTMENTS

ELAN RESIDENTIAL  
DEVELOPMENT

**PROGRESS DOCUMENTS**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Rev.	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS  
'A1' BUILDING

SHEET NUMBER

A200-A1





ELAN RESIDENTIAL DEVELOPMENT  
Fitchrona & Lacy Rd. Fitchburg, Wisconsin



## SPECIFIC IMPLEMENTATION PLAN

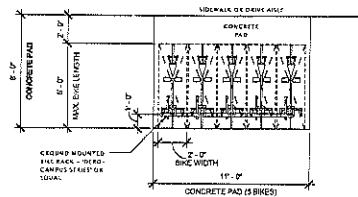
BUILDING: B1

PROGRESS DOCUMENTS

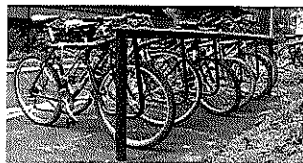
These documents reflect progress and intent and may be subject to change, including additional detail. They are not final construction documents and should not be used for final building or construction-related purposes.

JLA PROJECT NUMBER: 14-0515

APRIL 21, 2015

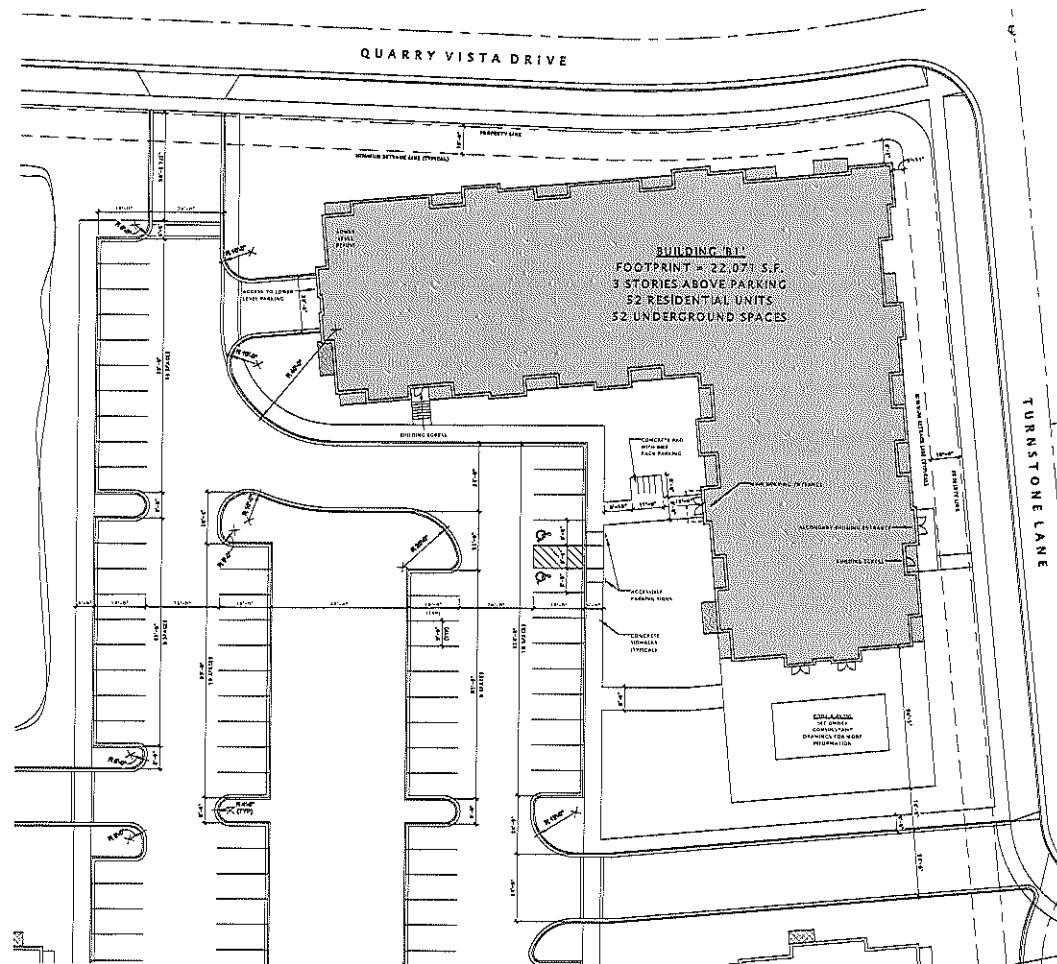


EXTERIOR BIKE PARKING  
1/4" = 1'-0"



EXAMPLE OF THE STYLE OF BIKE RACK TO BE LOCATED AT THE EXTERIOR OF EACH BUILDING  
(SEE SITE PLANS FOR LOCATION)

EXTERIOR BIKE RACK STYLE  
1/8" = 1'-0"



ARCHITECTURAL SITE PLAN - 'B1' BLDG  
1" = 20'-0"

**JLA**  
JOSEPH LEE & ASSOCIATES  
ARCHITECTS  
1000 10TH AVENUE, SUITE 200  
DENVER, COLORADO 80202  
TEL: 303.733.1100  
FAX: 303.733.1101  
WWW.JLA-ARCHITECTS.COM

JOSEPH LEE & ASSOCIATES  
ARCHITECTS  
1000 10TH AVENUE, SUITE 200  
DENVER, COLORADO 80202  
TEL: 303.733.1100  
FAX: 303.733.1101  
WWW.JLA-ARCHITECTS.COM

JOSEPH LEE & ASSOCIATES  
ARCHITECTS  
1000 10TH AVENUE, SUITE 200  
DENVER, COLORADO 80202  
TEL: 303.733.1100  
FAX: 303.733.1101  
WWW.JLA-ARCHITECTS.COM

**Fiduciary**  
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

**ELAN**  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and status and may be subject to change. Additional detail, if any, is shown for reference only and should not be used for construction or design purposes.

DATE OF ISSUANCE: APRIL 27, 2015

REVISION SCHEDULE

REVISION SCHEDULE

SHEET TITLE

ARCHITECTURAL SITE  
PLAN - BUILDING 'B1'

SHEET NUMBER

ASP101-B1









# JLA

JOHN P. LEE & ASSOCIATES  
ARCHITECTS, INC.  
1000 WEST 10TH AVENUE  
SUITE 1000  
DENVER, CO 80202  
TEL: 303.733.1100  
FAX: 303.733.1101  
WWW.JLA-ARCHITECTS.COM



FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

**ELAN**  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE

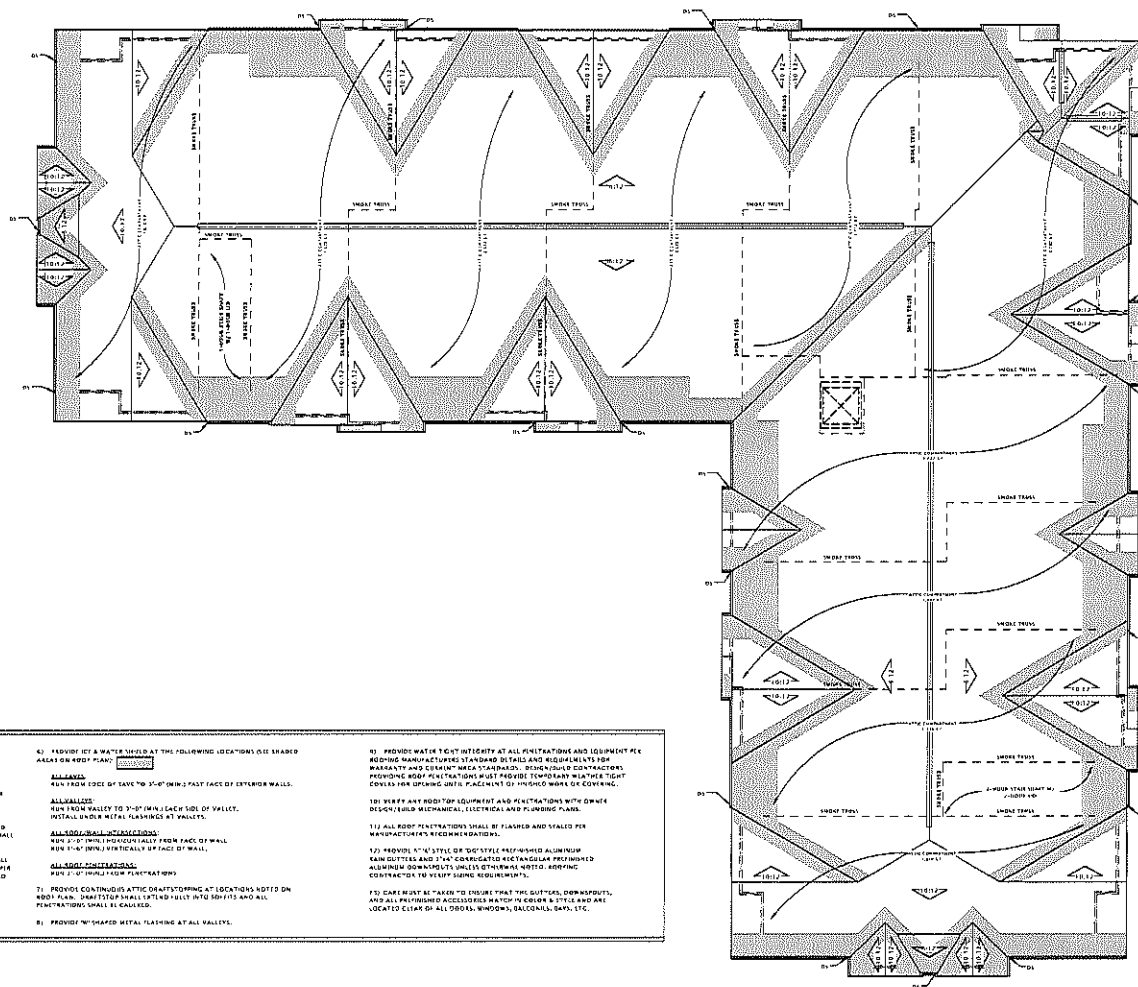
NO. DESCRIPTION DATE

SHEET TITLE

BUILDING 'B1' ROOF  
PLAN

SHEET NUMBER

A109-B1

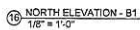
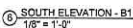


- ROOF NOTES**
1. ROOF SHALL BE **ASPH/FLY** WITH 1/2" MIN. THICKNESS. TOP CHORDS OF TRUSS SHALL BE PITCHED AS INDICATED ON ROOF PLAN. SEE ROOF ASSEMBLY DETAIL FOR DETAILED INFORMATION.
  2. AT CANYON ROOF AREAS, PROVIDE TAPERED INSULATION BOARD WALLS NECESSARY OVER ROOF SURFACE TO MAINTAIN A 1/4" PER FOOT MINIMUM PITCH TO ROOF DRAIN/SLOPE DRAINAGE.
  3. ROOF DRAIN/SLOPE ARE SHOWN FOR INTENT ONLY. PLUMBING DESIGNER/MECHANICAL CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL SIZES, LAYOUT AND LOCATION OF ROOF DRAIN AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
  4. ROOF VENTS SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE "WALL" EXHAUST ROOF VENTS TO PROVIDE 1 S.F. OF VENT AREA PER 100 S.F. OF AT THE AREA PER AT THE CONTRACTOR'S DISCRETION DESIGNER/MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
  5. OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
  6. PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADING AREAS ON ROOF PLAN):  
**ALL VALLES:**  
RUN FROM VALLEY TO 3'-0" MIN. EACH SIDE OF VALLEY.  
INSTALL ALUM. METAL FLASHING AT VALLES.  
**ALL ROOF PENETRATIONS:**  
RUN 2'-0" MIN. PARALLEL TO FACE OF WALL.  
**ALL ROOF PENETRATIONS:**  
RUN 2'-0" MIN. FROM PENETRATIONS.
  7. PROVIDE CONTINUOUS ATIC DRAFTSTOPPING AT LOCATIONS NOTED ON ROOF PLAN. DRAFT STOP SHALL EXTEND UP TO 50% OF ALL PENETRATIONS SHALL BE CALLED.
  8. PROVIDE "W" SHAPED METAL FLASHING AT ALL VALLES.
  9. PROVIDE WATER TIGHTNESS AT ALL PENETRATIONS AND EQUIPMENT PER REPAIRING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTY AND COMPLY WITH "ASAP" (SEE BUILDING CONTRACTOR). PROVIDE ROOF PENETRATIONS MUST PROVIDE TEMPORARY WATER TIGHT COVER FOR OPENING UNTIL PERMANENT IS PROVIDED WORK OF COVERING.
  10. VERIFY ANY ROOFING EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/BUILD MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
  11. ALL ROOF PENETRATIONS SHALL BE FLASHED AND STALLED PER MANUFACTURER'S RECOMMENDATIONS.
  12. PROVIDE 1/2" X 1/2" STEEL OR 3/4" X 1/2" STEEL 16" WIDE ALUMINUM RAIN GUTTERS AND 1/4" CORRUGATED RECTANGULAR PREPARED ALUMINUM DOWNSPUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SIZING REQUIREMENTS.
  13. CARE MUST BE TAKEN TO ENSURE THAT THE GUTTERS, DOWNSPUTS, AND ALL PENETRATIONS ACCESSORIES MATCH TO OTHER BUILDING AREAS LOCATED NEARBY ALL DOORS, WINDOWS, BALCONIES, BAYS, ETC.

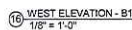
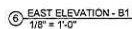
17. BUILDING 'B1' - ROOF PLAN  
3/32" = 1'-0"

SCALE: REFERENCE TO SLATED UNPAVED ROOF  
PLAN ONLY. SEE 17 AND 18 FOR SCALE.





A200-B1



A201-B1



ELAN RESIDENTIAL DEVELOPMENT  
Fitchrona & Lacy Rd. Fitchburg, Wisconsin



SPECIFIC IMPLEMENTATION PLAN

BUILDING: B2

PROGRESS DOCUMENTS

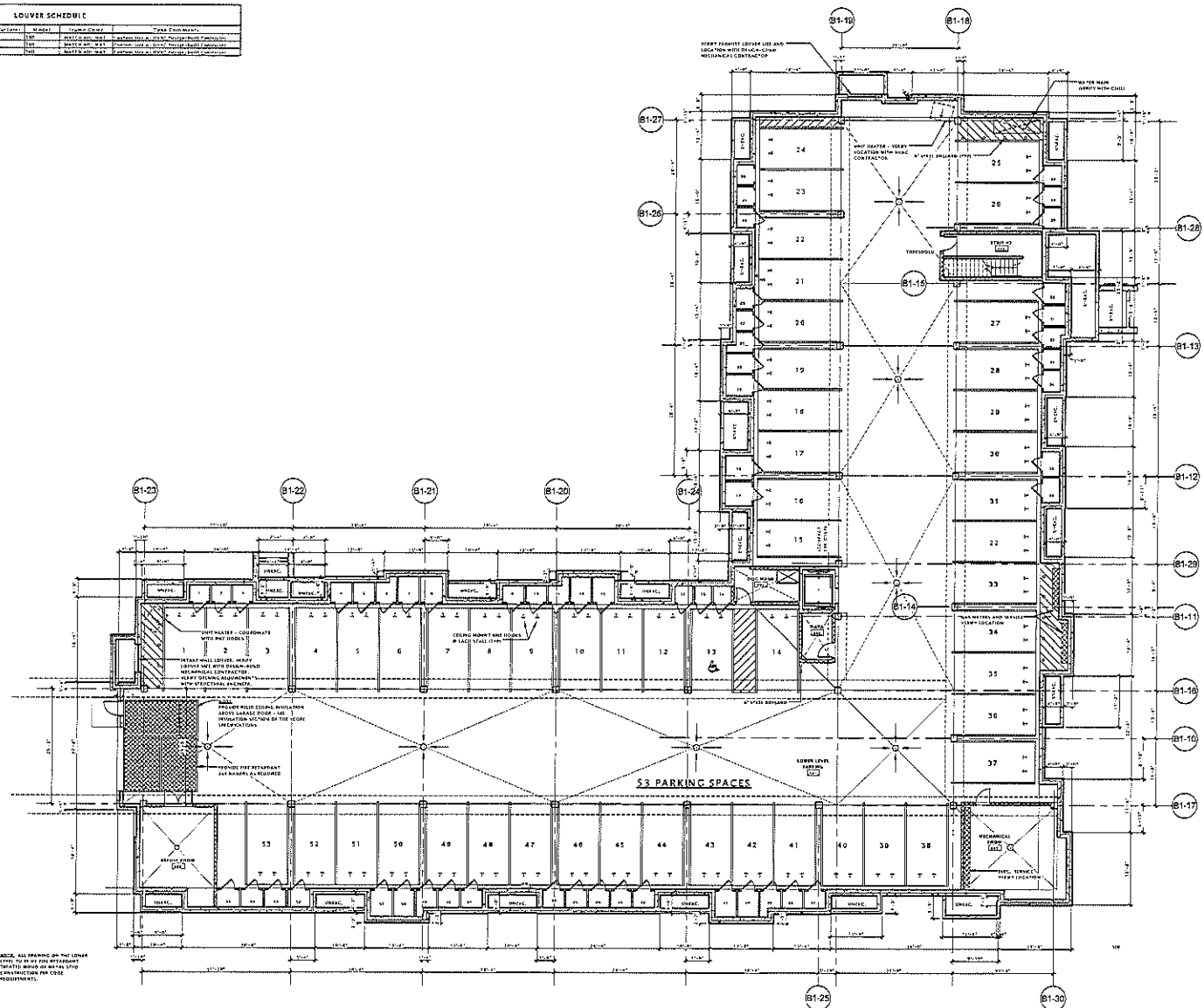
These documents reflect progress and intent and may be subject to change, including additional detail. They are not final construction documents and should not be used for final bidding or construction-related purposes.

JLA PROJECT NUMBER: 14-0515

APRIL 21, 2015

ASP101-B2

LOUVER SCHEDULE									
Appl.	Width	Height	Description	Manufacturer	Model	Frame Color	Finish	Notes	Comments
12	2'-0"	4'-0"	Fixed Louver	ALCOA	ALCOA 1000-001	Black	Aluminum	See Notes	See Notes
14	2'-0"	4'-0"	Fixed Louver	ALCOA	ALCOA 1000-002	Black	Aluminum	See Notes	See Notes
16	2'-0"	4'-0"	Fixed Louver	ALCOA	ALCOA 1000-003	Black	Aluminum	See Notes	See Notes



17. BUILDING 'B2' LOWER LEVEL PLAN  
3/32" = 1'-0"

DATE: 04/21/2015  
BY: JLA  
CHECKED: JLA  
APPROVED: JLA

**JLA**  
JOSEPH L. ASSOCIATES  
ARCHITECTS

**Fiduciary**  
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

**ELAN**  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and are subject to change. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Work: Revision: Date:

SHEET TITLE

BUILDING 'B2' LOWER  
LEVEL PLAN

SHEET NUMBER

A100-B2

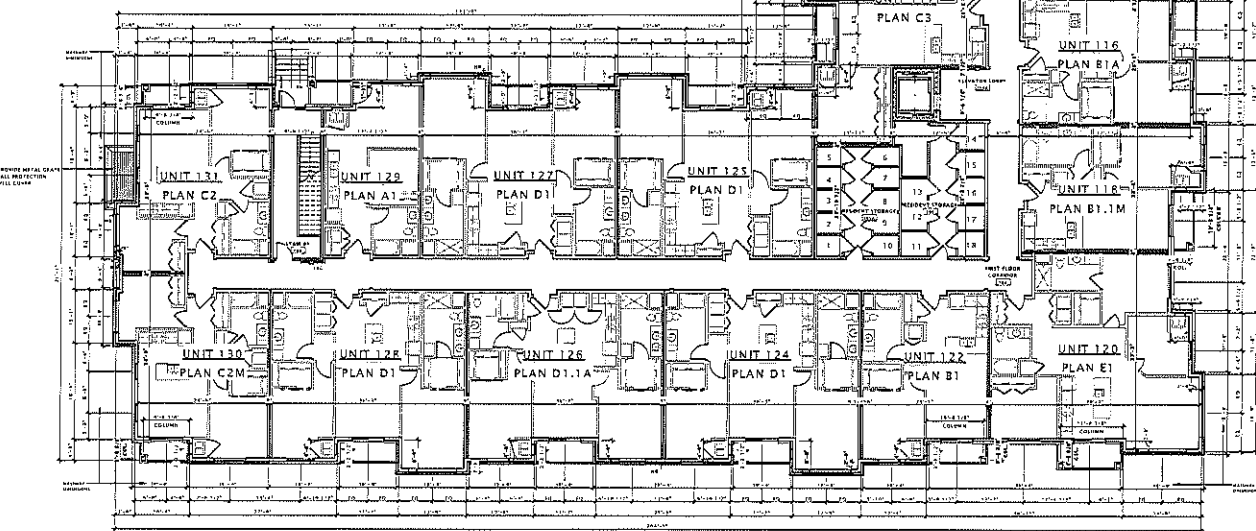
WINDOW SCHEDULE									
Unit	Width	Height	Description	Material/Finish	Model	Frame Color	U-Value	QUG	Notes
1	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
2	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
3	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
4	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
5	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
6	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
7	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
8	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
9	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
10	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard

LOUVER SCHEDULE									
Unit	Width	Height	Description	Material/Finish	Model	Frame Color	U-Value	QUG	Notes
1	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
2	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
3	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
4	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard

BUILDING 'B2' - THIRD FLOOR UNIT SCHEDULE									
Unit	Width	Height	Description	Material/Finish	Model	Frame Color	U-Value	QUG	Notes
1	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
2	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
3	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
4	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
5	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
6	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
7	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
8	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
9	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
10	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard

ENLARGED UNIT SHEET LISTING									
Unit	Width	Height	Description	Material/Finish	Model	Frame Color	U-Value	QUG	Notes
1	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
2	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
3	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
4	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
5	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
6	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
7	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
8	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard
9	3'-0"	4'-0"	Single Hung Window	White Vinyl	Model 100	White	0.35	1.0	Standard
10	3'-0"	4'-0"	Double Hung Window	White Vinyl	Model 200	White	0.35	1.0	Standard

- WINDOW NOTES:
1. ALL WINDOWS AND DOORS SHALL BE VINYL WINDOWS, NOT ALUMINUM OR WOOD. SEE SPECIFICATIONS FOR MORE INFORMATION.
  2. WINDOW SIZES ARE NOMINAL - GENERAL CONTRACTOR TO VERIFY ALL MEASUREMENTS WITH MANUFACTURER'S SPECIFICATIONS.
  3. CONTRACTOR SHALL PROVIDE ADEQUATE WINDOW HANGING AND FINISHES AND ASSURE OPERATING, AIR-TIGHT, WEATHER, AND INSULATION PROPERTIES IN ACCORDANCE WITH MANUFACTURER'S AND APPLICABLE CODES.
  4. FINISH ALL GLASS AT THE FOLLOWING LOCATIONS:
    - INTERIOR SURFACE FINISH
    - EXTERIOR SURFACE FINISH
    - ALL GLASS SHALL BE LOW-E GLASS



17 BUILDING 'B2' - FIRST FLOOR PLAN  
3/22/10

BASED UPON THE FOLLOWING ASSUMPTIONS:  
1. ALL WINDOWS AND DOORS SHALL BE VINYL WINDOWS, NOT ALUMINUM OR WOOD. SEE SPECIFICATIONS FOR MORE INFORMATION.

**JLA**  
ARCHITECTS

20000 11th St., Suite 100  
San Francisco, CA 94103  
Tel: 415.774.1100  
Fax: 415.774.1101

LA PROJECT NUMBER: 14-0115

FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN RESIDENTIAL  
DEVELOPMENT

PROGRESS DOCUMENTS  
These documents reflect progress and detail and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE: APRIL 21, 2015  
REVISION SCHEDULE  
Rev. No. Description Date

SHEET TITLE  
BUILDING 'B2' FIRST FLOOR PLAN

SHEET NUMBER  
A101-B2

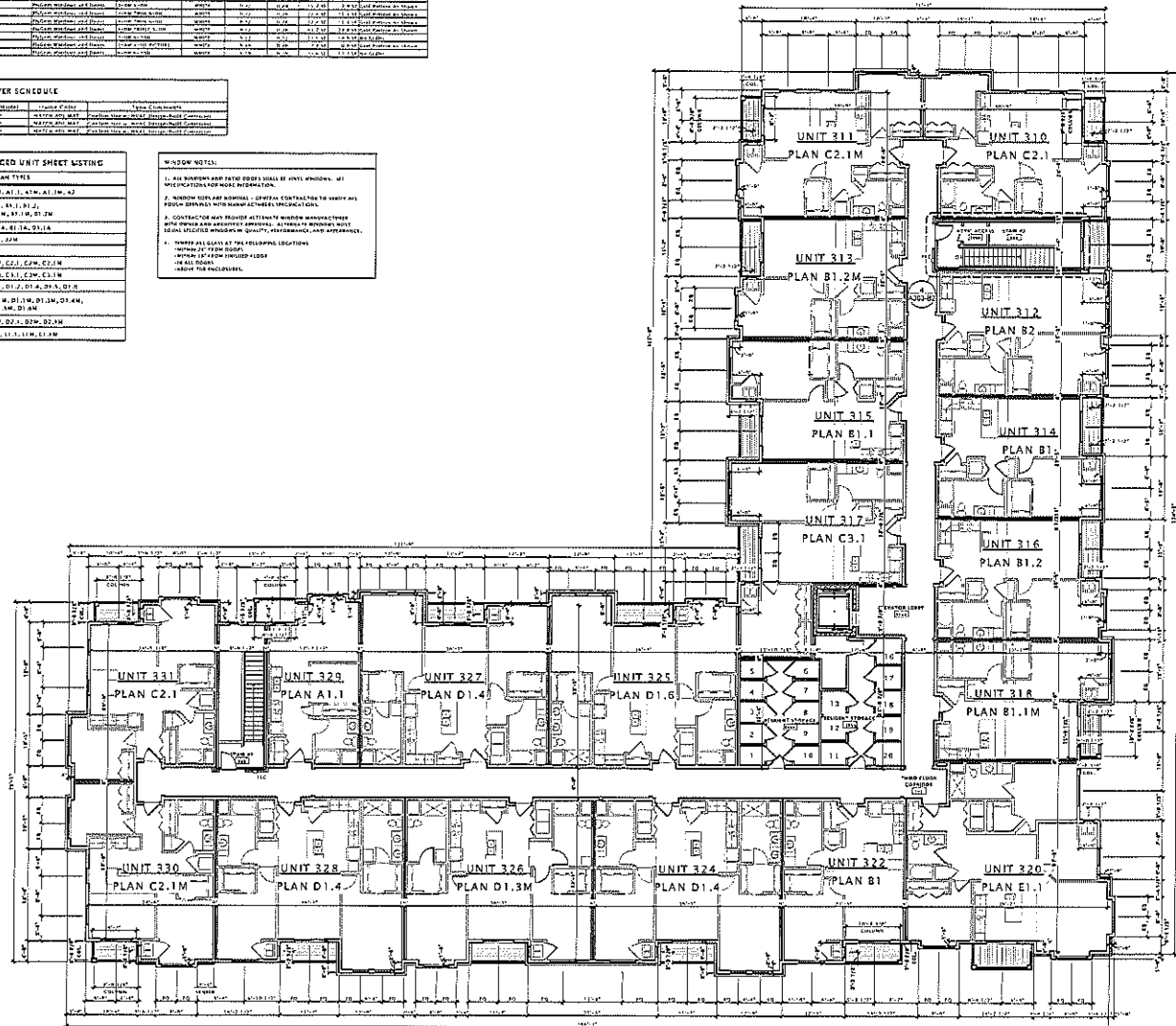
A102-B2

WINDOW SCHEDULE									
NO.	WIND	NO. & S	DESCRIPTION	MANUFACTURER	MODEL	FRAME COLOR	GLASS TYPE	FINISH	TYPE COMMENTS
1	W-1	1-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
2	W-2	2-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
3	W-3	3-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
4	W-4	4-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
5	W-5	5-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
6	W-6	6-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
7	W-7	7-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
8	W-8	8-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
9	W-9	9-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
10	W-10	10-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"

DOOR SCHEDULE									
NO.	DOOR	NO. & S	DESCRIPTION	MANUFACTURER	MODEL	FRAME COLOR	GLASS TYPE	FINISH	TYPE COMMENTS
1	D-1	1-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
2	D-2	2-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
3	D-3	3-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
4	D-4	4-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
5	D-5	5-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
6	D-6	6-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
7	D-7	7-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
8	D-8	8-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
9	D-9	9-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"
10	D-10	10-1	1/2" x 6'0" x 6'0" Double Hung	Polystyrene	6000	White	6-1/2"	6-1/2"	6-1/2" x 6'0" x 6'0"

BUILDING 'B2' - THIRD FLOOR UNIT SCHEDULE									
UNIT NO.	PLAN TYPE	AREA	NO.	PLAN TYPE	AREA	NO.	PLAN TYPE	AREA	NO.
311	PLAN C2.1M	111.1	311	PLAN C2.1M	111.1	311	PLAN C2.1M	111.1	311
312	PLAN C2.1M	111.1	312	PLAN C2.1M	111.1	312	PLAN C2.1M	111.1	312
313	PLAN C2.1M	111.1	313	PLAN C2.1M	111.1	313	PLAN C2.1M	111.1	313
314	PLAN C2.1M	111.1	314	PLAN C2.1M	111.1	314	PLAN C2.1M	111.1	314
315	PLAN C2.1M	111.1	315	PLAN C2.1M	111.1	315	PLAN C2.1M	111.1	315
316	PLAN C2.1M	111.1	316	PLAN C2.1M	111.1	316	PLAN C2.1M	111.1	316
317	PLAN C2.1M	111.1	317	PLAN C2.1M	111.1	317	PLAN C2.1M	111.1	317
318	PLAN C2.1M	111.1	318	PLAN C2.1M	111.1	318	PLAN C2.1M	111.1	318
319	PLAN C2.1M	111.1	319	PLAN C2.1M	111.1	319	PLAN C2.1M	111.1	319
320	PLAN C2.1M	111.1	320	PLAN C2.1M	111.1	320	PLAN C2.1M	111.1	320

ENHANCED UNIT SHEET LISTING									
SHEET	PLAN TYPE	AREA	SHEET	PLAN TYPE	AREA	SHEET	PLAN TYPE	AREA	SHEET
A410	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A410	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A410	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A410
A411	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A411	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A411	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A411
A412	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A412	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A412	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A412
A413	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A413	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A413	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A413
A414	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A414	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A414	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A414
A415	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A415	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A415	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A415
A416	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A416	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A416	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A416
A417	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A417	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A417	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A417
A418	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A418	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A418	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A418
A419	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A419	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A419	A1, A1.1, A1.2, A1.3, A1.4, A1.5, A1.6	111.1	A419



17 BUILDING 'B2' - THIRD FLOOR PLAN  
3/22 = 1'-0"

1/4" = 1'-0" (SEE NOTE 1)

**JLA**

PROFESSIONAL SEAL  
ARCHITECT  
JLA PROJECT NUMBER: 14-0015

FIDUCIARY REAL ESTATE DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN RESIDENTIAL DEVELOPMENT

PROGRESS DOCUMENTS  
These documents (plans, drawings and notes) are made on behalf of the client, including and without limitation, the use of these documents for any purpose other than that for which they were prepared.

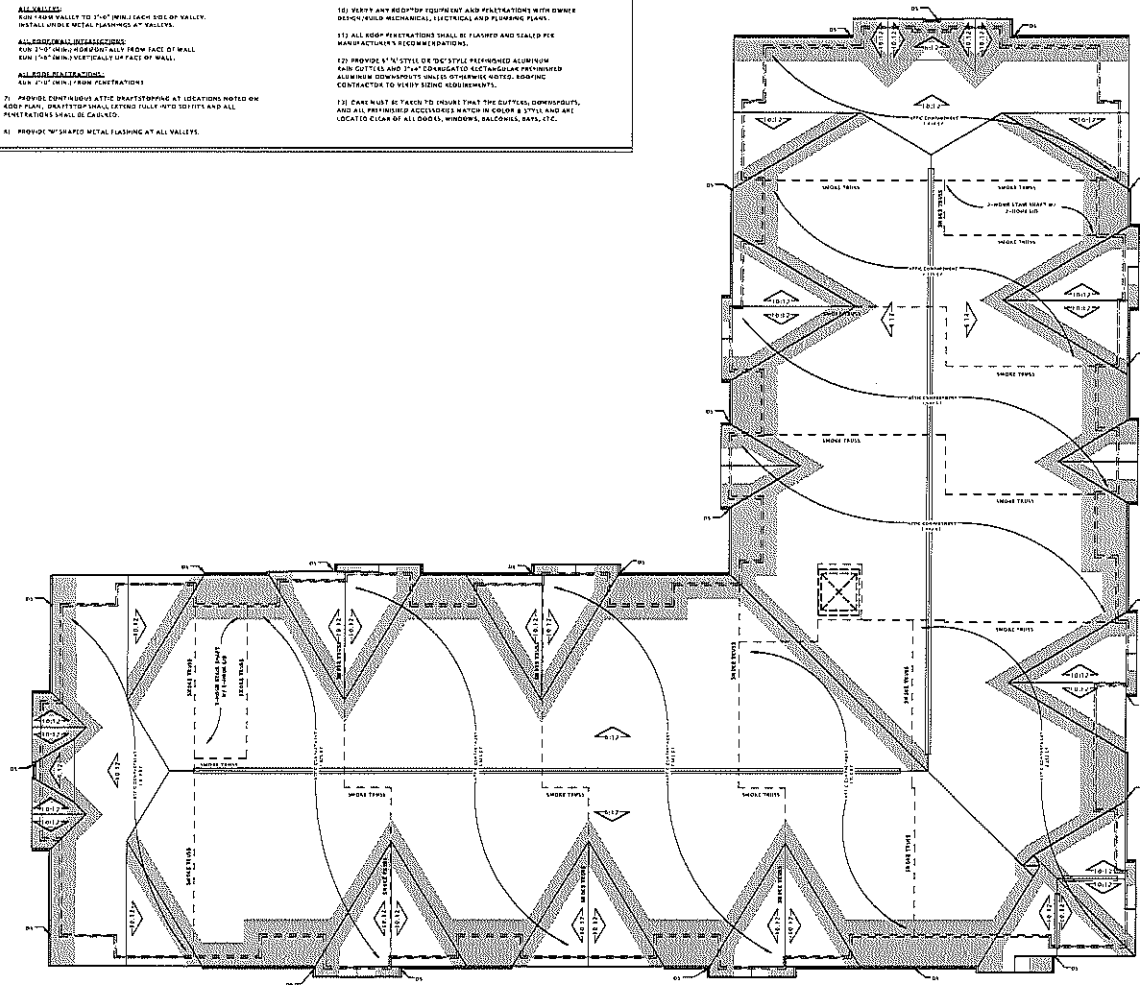
DATE OF ISSUANCE	APRIL 21, 2015
REVISION SCHEDULE	
Revisions	Revisions

SHEET TITLE  
BUILDING 'B2' THIRD FLOOR PLAN

SHEET NUMBER  
A103-B2

ROOF NOTES

- 1) ROOF SHALL BE **ROOF ASSEMBLY** UNLESS NOTED OTHERWISE. TOP CHORDS OF TRUSSES SHALL BE **PROTECTED** AS INDICATED ON ROOF PLAN. SEE ROOF ASSEMBLY SHEET FOR DETAILED INFORMATION.
- 2) AT CAVITY ROOF AREAS PROVIDE TYPED INSULATION BOARD WHEN NECESSARY OVER ROOF DECKING TO MAINTAIN A 1/4" FOR ROOF WINDUP PITCH TO ROOF DRAINS/SCUPPER DRAINS.
- 3) ROOF DRAINS/SCUPPERS ARE SHOWN IN INTENT ONLY. FLEWING DESIGN/ROOF CONTRACTOR SHALL PROVIDE NECESSARY CALCULATIONS AND DETERMINE FINAL QUANTITY, SIZE, AND LOCATION OF ROOF DRAINS AND SHALL COORDINATE WITH ROOFING CONTRACTOR TO PROVIDE PROPER DRAINAGE.
- 4) ROOF VENTS SHOWN ARE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL PROVIDE VENTS & TYPED ROOF VENTS TO MAINTAIN 1/4" OF VENT AREA PER SQ. FT. OF ATTIC AREA PER ATTIC COMPARTMENT. OWNER'S DESIGN/ROOF MECHANICAL CONTRACTOR SHALL PROVIDE CALCULATIONS SHOWING FINAL VENTILATION PLAN PRIOR TO INSTALLATION.
- 5) OVERHANGS SHALL BE AS SHOWN ON ROOF PLAN.
- 6) PROVIDE ICE & WATER SHIELD AT THE FOLLOWING LOCATIONS (SEE SHADING AREAS ON ROOF PLAN):  
**ALL VALLEYS:**  
 RUN FROM EDGE OF GABLE TO 2'-0" (MIN.) PAST FACE OF EXTERIOR WALLS.  
**ALL WALLS:**  
 RUN FROM WALLS TO 2'-0" (MIN.) EACH SIDE OF VALLEY.  
 INSTALL UNBENT METAL FLASHINGS AT VALLEYS.  
**ALL ROOF/WALL INTERSECTIONS:**  
 RUN 2'-0" (MIN.) FROM ALL ROOF FACE OF WALL.  
 RUN 1'-0" (MIN.) VERTICALLY UP FACE OF WALL.  
**ALL ROOF PENETRATIONS:**  
 RUN 2'-0" (MIN.) FROM PENETRATION.  
 RUN 1'-0" (MIN.) FROM PENETRATION.
- 7) PROVIDE CONTINUOUS ATTE DRASTOPPING AT LOCATIONS NOTED ON ROOF PLAN. UNLESS NOTED OTHERWISE, ALL VALLEYS AND ALL PENETRATIONS SHALL BE CALCULATED.
- 8) PROVIDE "W" SHAPED METAL FLASHING AT ALL VALLEYS.
- 9) PROVIDE WATER TIGHTNESS AT ALL PENETRATIONS AND EQUIPMENT FOR ROOFING MANUFACTURER'S STANDARD DETAILS AND REQUIREMENTS FOR WARRANTIES AND CURRENT MECA STANDARDS. DESIGN/ROOF CONTRACTOR SHALL PROVIDE ROOF PENETRATIONS MUST PROVIDE TIGHTNESS WEATHER TIGHT COVERS FOR OPENING UNTIL PLACEMENT OF FINISHED ROOF OR CEILING.
- 10) VERIFY ANY ROOF TOP EQUIPMENT AND PENETRATIONS WITH OWNER DESIGN/ROOF MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- 11) ALL ROOF PENETRATIONS SHALL BE FLASHED AND SEALED PER MANUFACTURER'S RECOMMENDATIONS.
- 12) PROVIDE 1/2" (MIN.) OR 3/4" (MIN.) STEEL OR 1/2" (MIN.) ALUMINUM RAIN GUTTERS AND 1/2" (MIN.) CORRUGATED RECTANGULAR PERMANENT ALUMINUM DOWNSPUTS UNLESS OTHERWISE NOTED. ROOFING CONTRACTOR TO VERIFY SIZING REQUIREMENTS.
- 13) CARE MUST BE TAKEN TO INSURE THAT THE GUTTERS, DOWNSPUTS, AND ALL PERMANENT ACCESSORIES MATCH IN COLOR & STYLE AND ARE LOCATED CLEAR OF ALL DOORS, WINDOWS, BALCONIES, PATIOS, ETC.



BUILDING 'B2' ROOF PLAN  
3/22" = 1'-0"

NOTES: BUILDING TO BE USED FOR RESIDENTIAL PURPOSES  
1.000 SQ. FT. AREA, 1.000 SQ. FT. AREA, 1.000 SQ. FT. AREA

**JLA**  
JOHN L. JAMES & ASSOCIATES  
ARCHITECTS  
1000 10TH AVENUE, SUITE 1000  
DENVER, CO 80202  
303.733.1000  
WWW.JLA-ARCHITECTS.COM

10 PROJECT NUMBER 10-0115

**Fiduciary**  
REAL ESTATE DEVELOPMENT, INC.

FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

**ELAN**  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and items and may be subject to change, including additional detail. These are not final construction documents and should not be used for final building or construction-related purposes.

DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE  
W.S. 1 Description Date

SHEET TITLE

BUILDING 'B2' ROOF  
PLAN

SHEET NUMBER

A109-B2

# JLA

JOSEPH J. LARSEN ASSOCIATES  
ARCHITECTS

SA PROJECT NUMBER: 14-0515



FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

**ELAN**  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

### PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE: APRIL 21, 2015

REVISION SCHEDULE

Rev.	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS  
'B2' BUILDING

SHEET NUMBER

A200-B2



6 SOUTH ELEVATION - B2  
1/8" = 1'-0"



16 NORTH ELEVATION - B2  
1/8" = 1'-0"

# JLA

JOSEPH L. ALLEN, ARCHITECT  
1000 N. 10TH STREET, SUITE 100  
DENVER, CO 80202  
303.733.1111

04 PROJECT NUMBER 14-0515



FIDUCIARY REAL  
ESTATE  
DEVELOPMENT, INC.

SPECIFIC IMPLEMENTATION PLAN

ELAN  
apartments

ELAN RESIDENTIAL  
DEVELOPMENT

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

DATE OF ISSUANCE APRIL 21, 2015

REVISION SCHEDULE

Work	Description	Date

SHEET TITLE

EXTERIOR ELEVATIONS  
'B2' BUILDING

SHEET NUMBER

A201-B2



① EAST ELEVATION - B2  
1/8" = 1'-0"



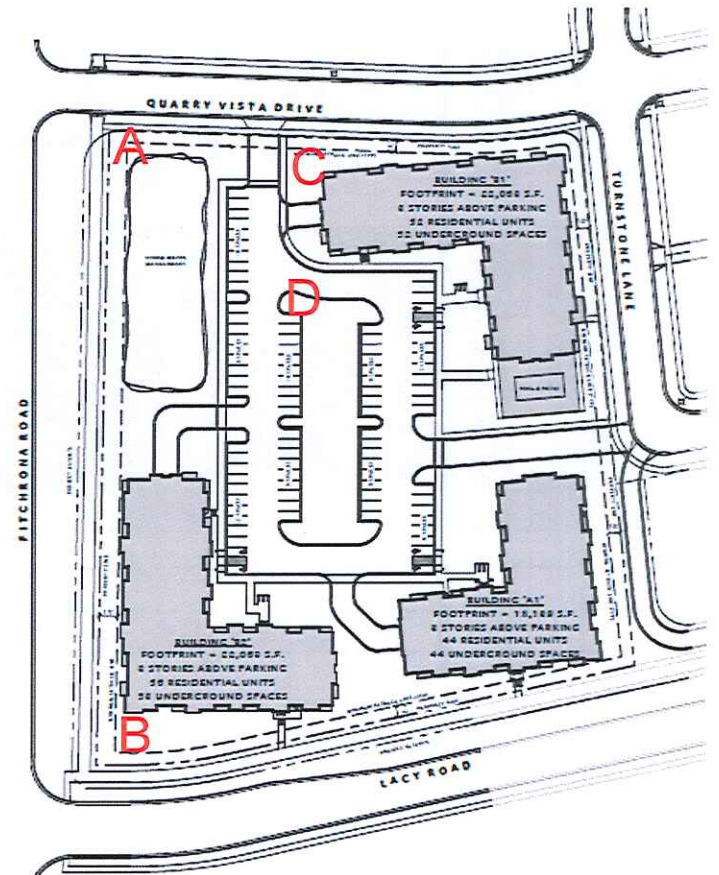
② WEST ELEVATION - B2  
1/8" = 1'-0"

APPENDIX 'D'  
SIGN PROGRAM

---

APRIL 21, 2015

ELAN  
apartments



# ELAN APARTMENTS - FITCHBURG, WI

Location : A & B



Scale 1"=1'-0"

(2) 4'h x 8'w x 1/2" MDO Plywood Now Leasing Signs Rev1

Digital printed on vinyl applied to boards

Installed on 4x4 posts.



Customer ELAN APARTMENTS  
Street  
City FITCHBURG, WI

Date: 4.17.15  
Acct. Rep. James Miller

Designer: JEM  
Drawing No. Leasing sign41715  
Revision 1  
Scale:

Client Approval  
Signature:  
Print:  
Date:

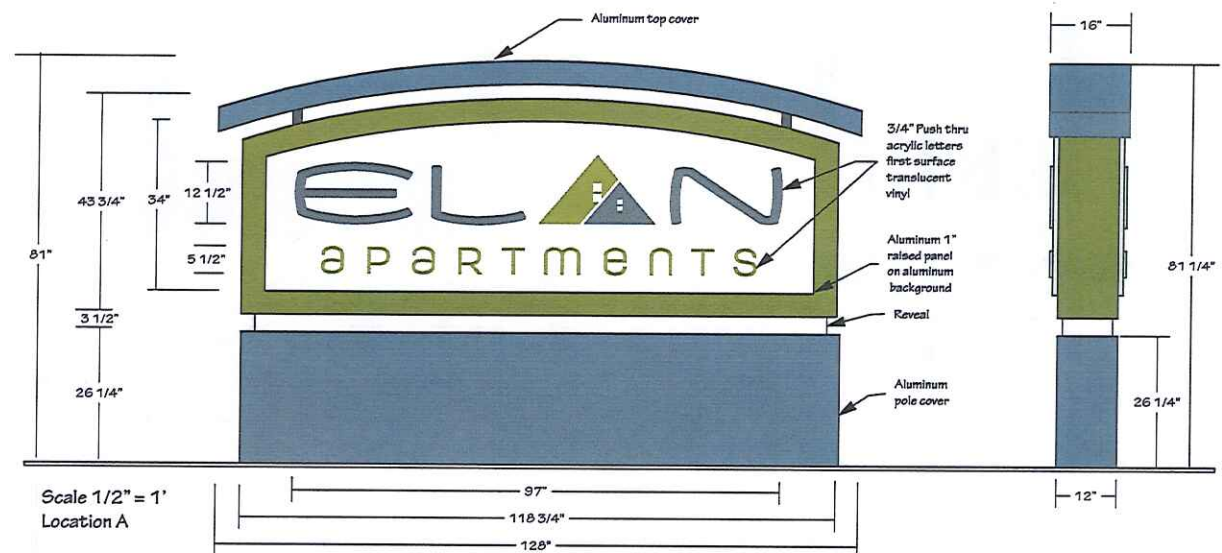
Landlord Approval  
Signature:  
Print:  
Date:

Wisconsin Sign & Graphics, LLC is the sole owner of this content. All rights reserved. No part of this content may be reproduced without written permission from Wisconsin Sign & Graphics, LLC.

109 Hotel St • Brooklyn, WI 53521 • 1.800.455.5055 • www.WisSign.com

Sign For Your Success!

## Elan Apartments



### Monument sign

- MAP Satin White
- MAP paint match PMS 582C
- MAP paint match PMS 431C

Double Faced Internal illumination with white LED

Sign SqFt = 72

**WISCONSIN**  
**SIGN & Graphics**

Customer Fiduciary\_Elan  
Street Fitchburg, WI

Date: 4.20.15  
Acct. Rep. James Miller

Designer: M Studnicka  
Drawing No. Elan Sign A  
Revision Scale:

Client Approval  
Signature:  
Print:  
Date:

Landlord Approval  
Signature:  
Print:  
Date:

Wisconsin Sign & Graphics, LLC is the sole owner of this artwork. Copyright, trade dress and other rights reserved. No part of this artwork may be reproduced without the written permission of Wisconsin Sign & Graphics, LLC.

109 Hotel St. • Brooklyn, WI 53521 • 1.608.455.5055 • www.WisSign.com

Copyright Wisconsin Sign & Graphics, LLC 2015  
Signs For Your Success!

## ELAN APARTMENTS - FITCHBURG, WI

Location: C and D



Sign C (s/f)



Sign D (s/f)

### TEMPORARY SIGNS C & D

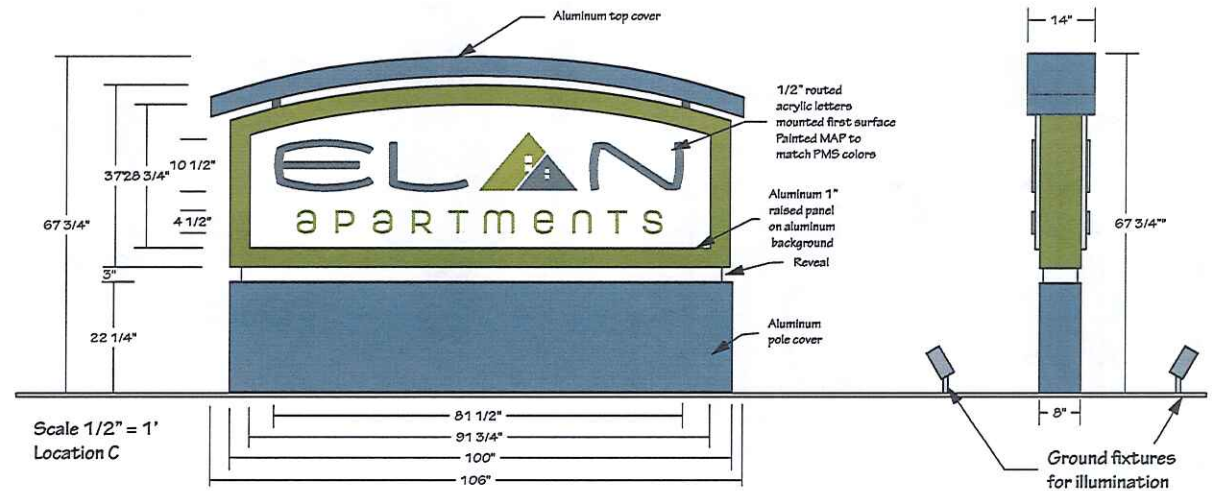
(2) 1/2" MDO Plywood Now Leasing Signs Rev1  
 Digital printed on vinyl applied to boards  
 Installed on 4x4 posts.

<b>WISCONSIN SIGN &amp; GRAPHICS</b>	<b>Customer</b> ELAN APARTMENTS <b>Street</b> <b>City</b> FITCHBURG, WI	<b>Date:</b> 4.17.15 <b>Acct. Rep.</b> James Miller	<b>Designer:</b> JEM <b>Drawing No.</b> Leasing sign41715 <b>Revision</b> 1 <b>Scale:</b>	<b>Client Approval</b> <b>Signature:</b> <b>Print:</b> <b>Date:</b>	<b>Landlord Approval</b> <b>Signature:</b> <b>Print:</b> <b>Date:</b>	<small>                     Wisconsin Sign &amp; Graphics, LLC is the sole owner of the artwork, graphics, text, and materials used in this sign. All other materials used in this sign are the property of their respective owners. No part of this sign may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without permission in writing from Wisconsin Sign &amp; Graphics, LLC.                 </small>

109 Hotel St. • Brooklyn, WI 53521 • 1.608.455.5055 • www.WisSign.com

Signs For Your Success!

## Elan Apartments



### Monument sign

	MAP Satin White
	MAP paint match PMS 582C
	MAP paint match PMS 431C

Double Faced non-illuminated

Sign SqFt = 49.872



Customer Fiduciary\_Elan  
Street  
City Fitchburg, WI

Date: 4.20.15  
Acct. Rep.  
James Miller

Designer: M Studnicka  
Drawing No. Elan Sign C  
Revision  
Scale:

Client Approval  
Signature:  
Print:  
Date:

Landlord Approval  
Signature:  
Print:  
Date:

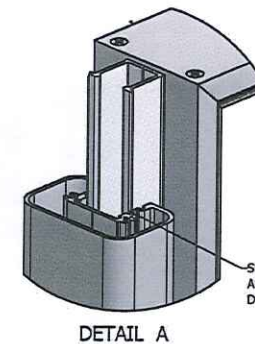
Wisconsin Sign & Graphics, Inc. is the sole owner of this drawing. Drawing is valid for 30 days from date of creation. Drawing is not to be used for any other project without written permission of Wisconsin Sign & Graphics, Inc.

109 Hotel St. • Brooklyn, WI 53521 • 1.608.455.5055 • www.WisSign.com

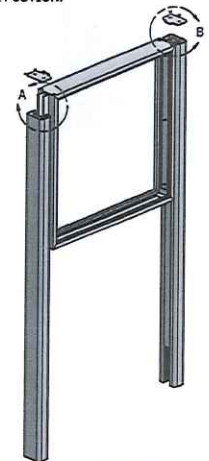
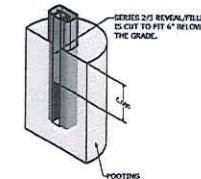
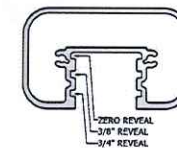
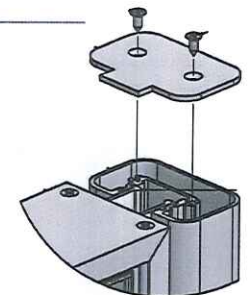
Sign For Your Success!

## Elan Apartments / Fitchburg, WI

Directional Sign D  
SF 24 x 36



SLIDE THE BOI ASSEMBLY INTO THE DESIRED REVEAL POSITION.



Customer Elan Apartments  
Street  
City Fitchburg, WI

Date: 4.14.15

Acct. Rep. James Miller

Designer: M Studnicka  
Drawing No. Elan Apart 24x36 C  
Revision  
Scale:

Client Approval  
Signature:  
Print:  
Date:

Landlord Approval  
Signature:  
Print:  
Date:

Wisconsin Sign & Graphics, LLC is the sole owner of this artwork. All materials, printed photographs, printed signs, materials used to construct the signs are the property of Wisconsin Sign & Graphics, LLC.

Copyright Wisconsin Sign & Graphics, LLC 2015

109 Hotel St. Brooklyn, WI 53521 • 1.800.455.5055 • 877.870.5705 • www.WisSign.com

Signs For Your Success!

APPENDIX 'E'  
NEIGHBORHOOD INPUT INFORMATION

---

APRIL 21, 2015

Invite list for 10-14-14 Neighborhood meeting  
Fiduciary Real Estate Development - Quarry Vista Multi-Family

BEYLER LIVING TR  
BRAD O ANDERSON  
COREY L DINTELMAN  
DANE COUNTY  
DIANE REMEIK  
EARLE N WILLIAMS & ARISA M WILLIAMS  
FITCHBURG MINERALS LLC  
FITCHBURG, CITY OF  
GREGORY A LUKAS & DIANE M LUKAS  
HAMM FAM LAND LLC  
HAMMERSLEY, KEITH E  
JOHN H ELLINGER  
JOHNSON REV LIVING TR, MARTIN H  
KENNETH E KAEGI & TERESA J KAEGI  
KENNETH O KOBERLE & JUDITH KOBERLE  
KEVIN N WUNDER & LORIANN S WUNDER  
LARRY J STARCZYNSKI & SHERRY L STARCZYNSKI  
MADISON METROPOLITAN SEWERAGE DISTRICT  
MAURER TR  
NATHAN HAMMERSLEY  
NSNK LLC  
PAYNE & DOLAN INC  
PRINGLE LIVING TR  
ROBERT O KOHLENBERG & NORMA K KOHLENBERG  
SCOTT C LITTLE & SHEILA A LITTLE  
TODD E MEURER & HOLLY M DOWLING  
VIVIAN G KILLERLAIN  
Amanda Arnold, Town of Verona

6342 PHEASANT LN  
2712 FITCHRONA RD  
2706 FITCHRONA RD  
210 MARTIN LUTHER KING JR BLVD RM 114  
1321 MDRRISON ST  
2687 FITCHRONA RD  
6295 LACY RD  
5520 LACY RD  
7330 SOUTHERN OAK PL  
6244 OAK HOLLOW DR  
6291 LACY RD  
2720 FITCHRONA RD  
6355 PHEASANT LN  
6344 GOOSE LAKE DR  
2669 FITCHRONA RD  
6353 GOOSE LAKE DR  
2701 FITCHRONA RD  
1610 MOORLAND RD  
2657 FITCHRONA RD  
6310 LACY RD  
6291 LACY RD  
PD BDX 781  
2700 FITCHRONA RD  
2653 FITCHRONA RD  
6350 PHEASANT LN  
6352 GOOSE LAKE DR  
6341 PHEASANT LN  
335 N. Nine Mound Road

VERONA WI 53593  
FITCHBURG WI 53719  
FITCHBURG WI 53711  
MADISON WI 53703-3342  
MADISON WI 53703  
MADISON WI 53719  
VERONA WI 53595  
FITCHBURG WI 53711  
MADISON WI 53719  
OREGON WI 53575  
FITCHBURG WI 53593  
FITCHBURG WI 53719  
VERONA WI 53593  
VERONA WI 53593  
MADISON WI 53719  
VERONA WI 53593  
FITCHBURG WI 53593  
VERONA WI 53593  
WAUKESHA WI 53187  
FITCHBURG WI 53719  
VERONA WI 53593  
VERONA WI 53593  
VERONA WI 53593  
VERONA WI 53593  
Verona, WI 53593-1035



**Fiduciary**  
Real Estate Development, Inc.

October 3, 2014

RE: Proposed 152-unit Apartment Home Project  
Hamm Fam Land, LLC lands  
Outlot 9 of the plat of Quarry Vista  
NW 1/4 of the NW 1/4 of Section 18

Dear Neighbor,

This letter is in regards to our proposed Apartment Home development located in the City of Fitchburg, near your property at the intersection of Lacy and Fitchrona Roads. Please find the following:

- Location map depicting our property and the surrounding neighborhood
- 11"x17" color rendered Concept Plan of our project which was reviewed by the City Plan Commission at their meeting on September 16, 2014.

We will be submitting our full General Implementation Plan (GIP) for the project by the City's Tuesday October 21, 2014 deadline in order to be on the City Plan Commission meeting agenda on Tuesday, November 18, 2014.

In order to solicit your input on the proposed design, we would like to invite you to an Open House:

**Tuesday, October 14, 2014 from 5:30 to 6:30 PM**

The open house will be held at the Hammersley Stone Offices, 6291 Lacy Road, Fitchburg, WI 53593

Again, we would appreciate any input you have on our plans and please do not hesitate to contact me (information below) if you have any questions or need additional information.

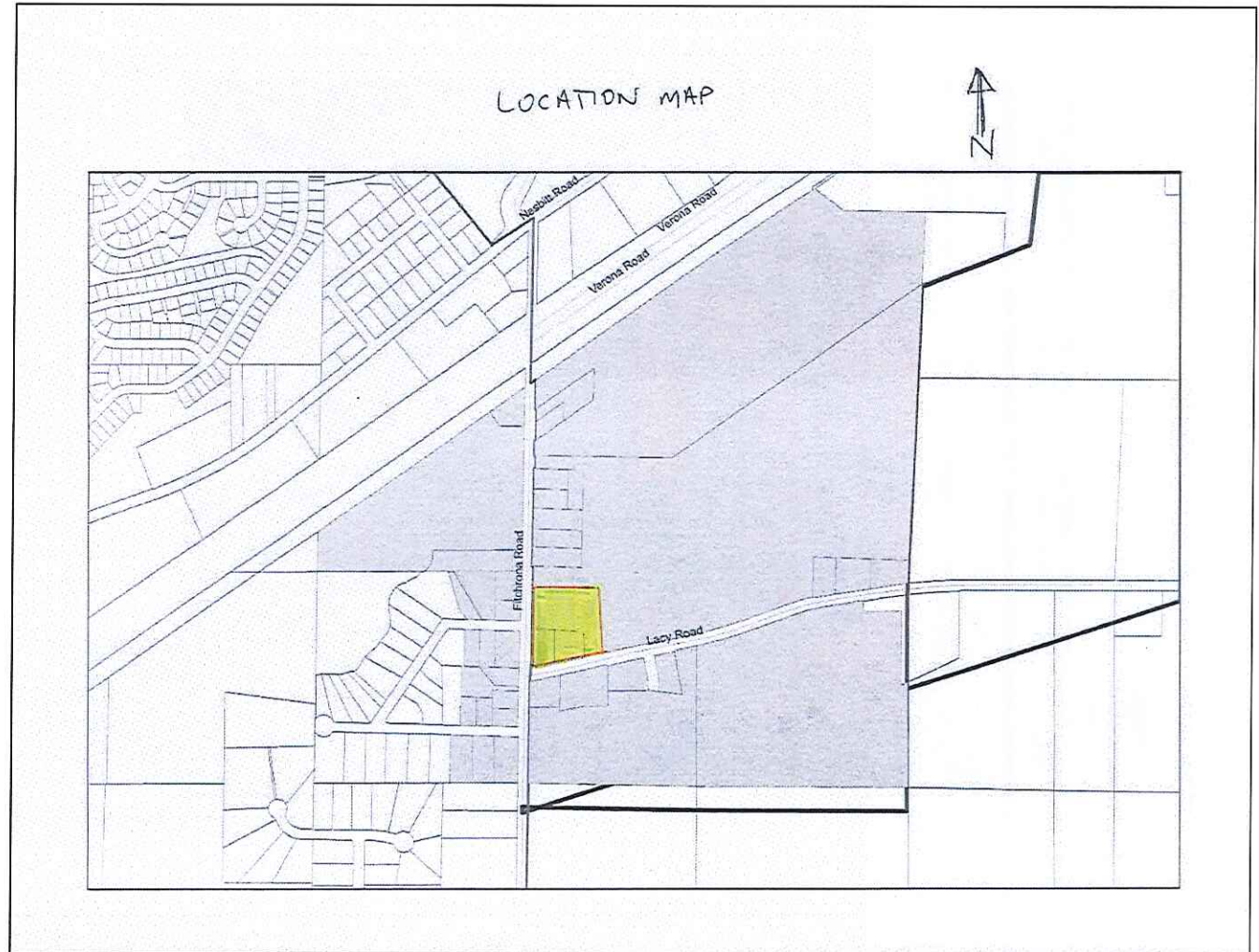
Sincerely,

Fiduciary Real Estate Development, Inc.

*William F. Olus*

William F. Olus  
Project Manager  
Direct line 414-274-8217  
Email [william@fidj.com](mailto:william@fidj.com)


Sample Attachment to Neighborhood Meeting Invitation



Sample Attachment to Neighborhood Meeting Invitation




Neighborhood Meeting Sign-In Sheet



**HAMMERSLEY**  
STONE  
CORP.

Grading and Utility Construction  
Crushed Stone Supplies



6231 Lacy Rd  
Fitchburg, WI 53593  
Phone: (608) 845-7804  
Fax: (608) 845-5332

October 14, 2014

Meeting with Neighborhood  
Fiduciary, Real Estate

<p>Geral Krause</p> <p>Gary Achly</p> <p>Edward Kunisawski</p> <p>Ellen Maurer</p> <p>Ken Pappert</p> <p>Diane Pappert</p> <p>Ken Pappert</p> <p>Todd Maurer</p> <p>Dennis Mounsey</p> <p>(Dugan and Dugan)</p>	<p>Tonto Trail</p> <p>Trato Trail</p> <p>Fitchburg Rd</p> <p>Fitchburg Rd</p> <p>Fitchburg Rd</p> <p>Lacy Rd</p> <p>Town Plan Comm.</p> <p>Goose Lake Dr.</p> <p>6235 Lacy Rd</p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

